

"Cedar Rapids is a vibrant urban hometown – a beacon for people and businesses invested in building a greater community now and for the next generation."

NOTICE OF CITY COUNCIL MEETING

The Cedar Rapids City Council will meet in Regular Session on Tuesday, February 9, 2016 at 12:00 PM in the Council Chambers, 3rd Floor, City Hall, 101 First Street SE, Cedar Rapids, Iowa, to discuss and possibly act upon the matters as set forth below in this tentative agenda. *(Please silence mobile devices.)*

A G E N D A

- Invocation
- Pledge of Allegiance
- Proclamations/Presentations

PUBLIC HEARINGS

1. A public hearing will be held to consider annexation of property located north of 16th Avenue NW and east of 80th Street NW as requested by the Laurence A. Schulte Trust (Vern Zakostelecky). CIP/DID #ANNX-022377-2015
 - a. Resolution approving annexation of property located north of 16th Avenue NW and east of 80th Street NW as requested by the Laurence A. Schulte Trust.
2. A public hearing will be held to consider granting a change of zone for property at 7708 6th Street SW from A, Agriculture Zone District, to I-2, General Industrial Zone District as requested by TH Development and Louis L. and Margaret Ellen Barta (Johnny Alcivar). CIP/DID #RNZE-022246-2015
 - a. First Reading: Ordinance granting a change of zone for property at 7708 6th Street SW from A, Agriculture Zone District, to I-2, General Industrial Zone District as requested by TH Development and Louis L. and Margaret Ellen Barta.
3. A public hearing will be held to consider the continuation of the disposition of excess City-owned property described as a one acre parcel of vacant land located easterly of and adjacent to 3425 and 3435 3rd Avenue SE (Rita Rasmussen). CIP/DID #PRD-022224-2015
 - a. Resolution authorizing the disposition of excess City-owned property described as a one acre parcel of vacant land located easterly of and adjacent to 3425 and 3435 3rd Avenue SE.

4. A public hearing will be held to consider the vacation of public ways and grounds in and to the property described as a 5.3 acre parcel of vacant City-owned land known as Osborn Park, and a 40-foot wide strip of unused right-of-way located southeasterly of 15th Avenue SE and formerly known as 1st Street SE, as requested by the City of Cedar Rapids in connection with the Cedar Rapids Flood Control System project (Rita Rasmussen). CIP/DID #ROWV-022220-2015
 - a. First Reading: Ordinance vacating public ways and grounds in and to the property described as a 5.3 acre parcel of vacant City-owned land known as Osborn Park, and a 40-foot wide strip of unused right-of-way located southeasterly of 15th Avenue SE and formerly known as 1st Street SE, as requested by the City of Cedar Rapids in connection with the Cedar Rapids Flood Control System project.
5. A public hearing will be held to consider the plans, specifications, form of contract and estimated cost for the Southbound Right-Turn Lane, Iowa Highway 13 & Bertram Road project (estimated cost is \$214,800) (Steve Hershner). CIP/DID #6150015-02
 - a. Resolution adopting plans, specifications, form of contract and estimated cost for the Southbound Right-Turn Lane, Iowa Highway 13 & Bertram Road project.
6. A public hearing will be held to consider proposed plans, specifications, form of contract, estimated cost for the B Avenue NW from Highland Drive NW to 8th Street NW Roadway Improvements project. (estimated cost is \$2,600,000) (Doug Wilson). **(Paving for Progress)** CIP/DID #3012091-02
 - a. Resolution adopting plans, specifications, form of contract and estimated cost for the B Avenue NW from Highland Drive NW to 8th Street NW Roadway Improvements project.
7. A public hearing will be held to consider the proposed plans, specifications, form of contract and estimated cost for the Overhead Sign Structures on 7th Street NE from I-380 to 1st Avenue E project (estimated cost is \$100,000) (Matt Myers). CIP/DID #306228-01
 - a. Resolution adopting plans, specifications, form of contract and estimated cost for the Overhead Sign Structures on 7th Street NE from I-380 to 1st Avenue E project.
8. A public hearing will be held to consider the proposed plans, specifications, form of contract and estimated cost for the 400 1st Avenue NE – Five Seasons Parkade Structural Repairs project (estimated cost is \$900,150) (Nathan Kampman). CIP/DID #635132-02
 - a. Resolution adopting plans, specifications, form of contract and estimated cost for the 400 1st Avenue NE – Five Seasons Parkade Structural Repairs project.

PUBLIC COMMENT

This is an opportunity for the public to address the City Council on any subject pertaining to Council action scheduled for today. If you wish to speak, place your name on the sign-up sheet on the table outside the Council Chambers and approach the microphone when called upon.

MOTION TO APPROVE AGENDA

CONSENT AGENDA

These are routine items, some of which are old business and some of which are new business. They will be approved by one motion without individual discussion unless Council requests that an item be removed for separate consideration.

9. Motion to approve minutes.
10. Resolution rescinding Resolution No. 0199-02-15, which provided City support of the proposed development of the former Chipping Green site at 16th Street NW and Zika Avenue NW, and re-authorizing support for the proposed Sanctuary at Ellis project at Zika Avenue and 16th Street NW to secure Workforce Housing Tax Credits and provide local match through Urban Revitalization Tax Exemption. CIP/DID #OB1241850
11. Resolution adopting a Czech Bohemia Design Manual for the Czech Bohemia Design Review Overlay District. CIP/DID #OB715322
12. Preliminary resolution for the construction of sidewalk improvements and the removal and replacement of bituminous fiber (Orangeburg) sanitary sewer services for the 29th Street Drive SE from 1st Avenue to Tama Street Roadway Improvements project. **(Paving for Progress)** CIP/DID #3012126-00
13. Resolution accepting work and fixing amount to be assessed for the Edgewood Road SW and Edgewood Parkway SW Traffic Signal Improvements project. CIP/DID #306163-00
14. Resolution adopting and levying final schedule of assessments and providing for the payment thereof for the FY 2015 Curb Repair Project – Contract 2 project. **(Paving for Progress)** CIP/DID #301998-00
15. Resolution referring to the Linn County Compensation Commission the partial acquisition of a permanent drainage easement and a temporary grading easement for construction from Duane K. and Darlus J. Selken from land located at 5225 Beverly Road SW in connection with the Beverly Road SW Culvert Replacement project. CIP/DID #304421-00
16. Resolution authorizing the City Clerk to return the Performance Bond and Payment Bond to Pirc-Tobin Construction, Inc. for the Alley Between 23rd Street Drive SE and 24th Street Drive SE East of 1st Avenue Storm Sewer Point Repair project. CIP/DID #304391-02
17. Motions setting public hearing dates for:
 - a. February 23, 2016 – to consider amending Chapter 32 of the Municipal Code, the Zoning Ordinance, to expand the Northwest Flood Mitigation Overlay District with specific guidelines applicable to land use applications and permits. CIP/DID #ZONE-0001-2016

- b. February 23, 2016 – to consider granting a change of zone for property north of Highway 30, east of Union Drive SW from A, Agriculture Zone District, to R-2, Single Family Residence Zone District as requested by College Farms, LLC. CIP/DID #RZNE-022288-2015
 - c. February 23, 2016 – to consider the vacation and disposition of public ways and grounds in and to the property described as a portion of the 20-foot wide platted alley located between the southerly right-of-way line of Diagonal Drive SW and the northerly right-of-way line of 7th Avenue SW as requested by Landover Corporation. CIP/DID #ROWV-022155-2015
 - d. February 23, 2016 – to consider the vacation and disposition of public ways and grounds in and to the property described as a 15-foot by 250-foot alley located southwesterly of and adjacent to 42 7th Avenue SW as requested by Mott, LLC. CIP/DID #ROWV-022010-2015
 - e. February 23, 2016 – to consider the disposition of City-owned property at 101 and 109 3rd Avenue SE and 312 1st Street SE and inviting competitive redevelopment proposals. **(Flood)** CIP/DID #DISP-0004-2016
 - f. March 8, 2016 – to consider the fiscal year 2017 annual budget. CIP/DID #FIN2016-10
 - g. March 22, 2016 – to consider an Urban Revitalization Area designation for Thompson Truck and Trailer, Inc. at the southwestern corner of 6th Street SW and 76th Avenue SW for construction of a new commercial and industrial facility. CIP/DID #URTE-0007-2016
18. Motions setting public hearing dates, filing plans and/or specifications, form of contract and estimated cost, advertising for bids by publishing notice to bidders, and authorizing City officials or designees to receive and open bids and publicly announce the results for:
- a. February 23, 2016 – Oakland Road NE from H Avenue NE to J Avenue NE Pavement Rehabilitation project, with bid opening February 24, 2016 (estimated cost is \$1,413,000). **(Paving for Progress)** CIP/DID #3012099-02
 - b. February 23, 2016 – Water Division Electric Metering Upgrades project, with bid opening on March 9, 2016 (estimated cost is \$993,000). CIP/DID #6250043-02
 - c. February 23, 2016 – Water Pollution Control Facility Roof Replacements project, with bid opening March 9, 2016 (estimated cost is \$495,000). CIP/DID #615190-06
 - d. February 23, 2016 – Water Pollution Control Operations & Maintenance Building HVAC Upgrade project, with bid opening March 9, 2016 (estimated cost is \$1,360,000). CIP/DID #6150014-02
19. Motions assessing \$300 civil penalties for violation of State Code regarding the sale of tobacco/vapor products to minors against:
- a. Casey's General Store #2766, 380 33rd Avenue SW. CIP/DID #CIG001830-05-2015
 - b. Things N Things, 621 Center Point Road NE. CIP/DID #CIG001803-04-2015
20. Motion approving the beer/liquor/wine applications of: CIP/DID #OB1145716
- a. Chipotle, 2360 Edgewood Road SW, Suite #100 (new – new construction).
 - b. Coral Isle Club #909, 1620 E Avenue NE (transfer to Veterans Memorial Coliseum, 50 2nd Avenue Bridge, for an event on March 6, 2016).
 - c. Leo 2, 4107 Center Point Road NE (new – formerly Point Liquor & Tobacco).
 - d. Lion Bridge Brewing Company, 59 16th Avenue SW.
 - e. May City Bowl, 1648 Trent Street SW.
 - f. NewBo Ale House & Sushi, 1201 3rd Street SE.
 - g. St Andrews Golf Club, 1866 Blairs Ferry Road NE.

- h. St Pius & Elizabeth Ann Seton School, 4901 Council Street NE (5-day permit for an event on February 27, 2016).
 - i. Sushi House, 2665 Edgewood Parkway SW, Suite #100.
 - j. Tanner's Bar & Grill, 5200 Fountains Drive NE (new – new construction).
21. Resolutions approving:
- a. Payment of bills. CIP/DID #FIN2016-01
 - b. Payroll. CIP/DID #FIN2016-02
22. Resolutions appointing, reappointing and thanking the following individuals:
- a. Appointing James Kaas and Vernon Squires (effective through June 30, 2020) to the Airport Zoning Board of Adjustment. CIP/DID #OB131017
 - b. Appointing Pamela Lewis and Robert Schaffer (effective through June 30, 2017), Lijun Chadima and James Piersall (effective through June 30, 2018) and Craig Byers, Stephanie Jelinek and Ana McClain (effective through June 30, 2019) to the Czech Village-New Bohemia Self-Supported Municipal Improvement District Commission. CIP/DID #CD-0005-2015
 - c. Appointing Bethany Jordan (effective through June 30, 2016), John Albert Jr. and Michael Easley (effective through June 30, 2017) and Angie Kuhn and Jason Willis (effective through June 30, 2018) to the Medical Quarter Design Review Technical Advisory Committee. CIP/DID #OB525028
23. Resolutions approving the special event applications for:
- a. SAPADAPASO St. Patrick's Day Parade event (includes road closures) on March 17, 2016. CIP/DID #SPEC-047034-2015
 - b. St. Joseph's Day Parade event (includes road closures) on March 19, 2016. CIP/DID #SPEC-047690-2015
24. Resolution approving assessment action:
- a. Intent to assess – Water Division – delinquent municipal utility bills – 32 properties. CIP/DID #WTR02-09-16-001
25. Resolutions accepting subdivision improvements, approving Maintenance Bonds and/or authorizing reimbursements:
- a. Sanitary sewer in Crescent View Fourth Addition and 2-year Maintenance Bond submitted by Abode Construction, Inc. in the amount of \$47,122.70. CIP/DID #FLPT-007026-2013
 - b. Storm sewer in Crescent View Fourth Addition and 2-year Maintenance Bond submitted by Abode Construction, Inc. in the amount of \$17,988. CIP/DID #FLPT-007026-2013
 - c. Portland Cement Concrete pavement in Crescent View Fourth Addition and 4-year Maintenance Bond submitted by City Wide Construction Corporation in the amount of \$82,957.05 CIP/DID #FLPT-007026-2013
 - d. Storm sewer in Knollwood Park Third Addition and 2-year Maintenance Bond submitted by Rathje Construction Company in the amount of \$48,964. CIP/DID #FLPT-017728-2015
 - e. Portland Cement Concrete pavement in Knollwood Park Third Addition and 4-year Maintenance Bond submitted by E & F Paving Company, LLC in the amount of \$45,000. CIP/DID #FLPT-017728-2015

- f. Sanitary sewer in Knollwood Park Fourth Addition and 2-year Maintenance Bond submitted by Rathje Construction Company in the amount of \$13,570. CIP/DID #FLPT-017729-2015
 - g. Storm sewer in Knollwood Park Fourth Addition and 2-year Maintenance Bond submitted by Rathje Construction Company in the amount of \$18,081. CIP/DID #FLPT-017729-2015
 - h. Portland Cement Concrete pavement in Knollwood Park Fourth Addition and 4-year Maintenance Bond submitted by E & F Paving Company, LLC in the amount of \$30,000. CIP/DID #FLPT-017729-2015
26. Resolutions accepting projects, approving Performance Bonds and/or authorizing final payments:
- a. 3rd Avenue SW Pavement Rehabilitation Improvements from 10th Street to 6th Street project, final payment in the amount of \$10,557.39 and 4-year Performance Bond submitted by L.L. Pelling Company (original contract amount was \$205,602.45; final contract amount is \$211,147.78) **(Paving for Progress)** CIP/DID #3012082-02
 - b. 4th Avenue SE Pavement Rehabilitation from 5th Street SE to 19th Street SE project, Change Order No. 7 (Final) in the amount of \$5,350, final payment in the amount of \$126,333.42 and 4-year Performance Bond submitted by Pirc-Tobin Construction, Inc. (original contract amount was \$2,219,444.15; final contract amount is \$2,526,668.46). **(Paving for Progress)** CIP/DID #3012080-02
 - c. Edgewood Road SW and Edgewood Parkway SW Traffic Signal Improvements project, final payment in the amount of \$11,633.01 and 4-year Performance Bond submitted by Trey Electric Corporation (original contract amount was \$228,642.80; final contract amount is \$232,660.25). CIP/DID #306163-03
 - d. Midway Drive NW from Peace Avenue NW to Bezdek Drive NW Roadway Reconstruction project, final payment in the amount of \$56,796.55 and 4-year Performance Bond submitted by Rathje Construction Company (original contract amount was \$1,154,655; final contract amount is \$1,135,930.99). **(Paving for Progress)** CIP/DID #3012120-02
 - e. SE Quadrant Sanitary Sewer Improvements – Phase 2, Package 2 project, Change Order No. 7 (Final) deducting the amount of \$95,490.32, accepting project and performance bond, and issuance of final payment in the amount of \$45,177.98 to Rathje Construction Company (original contract amount was \$931,429.33; final contract amount is \$903,559.56) **(Flood)** CIP/DID #SSD104-06
27. Resolutions authorizing execution of Development Agreements for properties participating in the fourth round of the Single Family New Construction Program: **(Flood)** CIP/DID #OB540257
- a. Scallon Custom Homes, L.L.C. for property at 1770 Mallory Street SW.
 - b. Thomas Dostal Developers, Inc. for property at 5321 Dostal Drive SW.
28. Resolution authorizing execution of a Development Agreement and Special Warranty Deed for City-owned property participating in the fourth round of the Single Family New Construction Program: **(Flood)** CIP/DID #OB540257
- a. Scallon Custom Homes, L.L.C. for property at 1766 Mallory Street SW.
29. Resolutions approving actions regarding purchases, contracts and agreements:
- a. Contract with Brand Acceleration, Inc. for Strategic Marketing Services for the City Manager's Office for an amount not to exceed \$82,300. CIP/DID #PUR0915-056

- b. Amendment No. 4 to the contract for Engineering Division Furniture with Triplett Interior Solutions to extend the term of the contract and to reflect the cost of additional furniture for an amount not to exceed \$2,002.79 (original contract amount was \$24,988; total contract amount with this amendment is \$77,268.81). **(Flood)** CIP/DID #0415-205
- c. Contract with D & K Products for Turf Care Products for the Parks & Recreation Department for an annual amount not to exceed \$80,000. CIP/DID #PUR1215-102A
- d. Parks and Recreation Department purchase of one Noelridge Lagoon Pavilion from All Inclusive Rec in the amount of \$59,830.50. CIP/DID #PUR1215-105
- e. Contract with ArborPro, Inc for Tree Inventory Services for the Parks and Recreation Department for an amount not to exceed \$189,000. CIP/DID #PUR1115-092
- f. Amendment No. 3 to the Contract with Greg's Lawn and Landscaping for Mowing Services for City Weed Ordinance for the Solid Waste Division to reflect an increase in the volume of services for an amount not to exceed \$40,000 (original contract amount was \$30,000; total contract amount with this amendment is \$135,000). CIP/DID #0415-209
- g. Amendment No. 2 to renew contract with Sensys Networks, Inc. for Sensys Equipment for the Traffic Engineering Division for an annual amount not to exceed \$100,000 (original contract amount was \$50,000; renewal contract amount is \$100,000). CIP/DID #1013-081
- h. Amendment No. 1 to Contract with Schimberg Co. for Water System Pipe, Hydrants, Valves, Fittings & Service Materials for the Water Division for an additional amount not to exceed \$225,000 (original contract amount was \$500,000; total contract amount with this amendment is \$725,000). CIP/DID #0115-151C
- i. Professional Services Agreement with Ament Design for an amount not to exceed \$60,334 for design services in connection with the Center Point Road NE from 32nd Street to 29th Street Roadway Rehabilitation project. **(Paving for Progress)** CIP/DID #3012148-02
- j. Amendment No. 1 to the Professional Services Agreement with Anderson-Bogert Engineers & Surveyors, Inc. specifying an increased amount not to exceed \$38,862 for professional services in connection with the First Avenue East from 27th Street to 40th Street Utilities Rehabilitation project (original contract amount was \$305,460; total contract amount with this amendment is \$344,322). CIP/DID #301240-03
- k. Amendment No. 1 to the Professional Services Agreement with Anderson-Bogert Engineers & Surveyors, Inc. specifying an increased amount not to exceed \$8,936.25 to amend the scope of services and the schedule in connection with the Stickle Drive NE, Sanitary Sewer Extension Phase II project (original contract price was \$62,953.50; total contract price with this amendment is \$71,889.75). CIP/DID #655933-01
- l. Change Order No. 3 (Revised) in the amount of \$66,854.50 plus one additional working day with L.L. Pelling Company, Inc. for the 1st Avenue E from approximately 325 feet south of 34th Street NE to 40th Street NE HMA Resurfacing Phase 1 project (original contract amount was \$3,214,451.79; total contract amount with this amendment is \$3,322,631.09). CIP/DID #301240-06
- m. Change Order No. 5 in the amount of \$4,058.10 with L.L. Pelling Company, Inc. for the 7th Street SE and 8th Street SE Roadway Rehabilitation from A Avenue NE to 12th Avenue SE project (original contract amount was \$1,346,955.75; total contract amount with this amendment is \$1,493,570.91). **(Paving for Progress)** CIP/DID #3012111-02
- n. Change Order No. 4 Revised Final (2) deducting the amount of \$63,528.14 with Rathje Construction Co. for the 16th Avenue SW (400-Ft East of 23rd Street to Williams BLVD SW) Water Main Rehabilitation project (original contract amount was \$609,805; total contract amount with this amendment is \$582,965.36). CIP/DID #2011061-02

- o. Change Order No. 8 (Final Revised) deducting the amount of \$101,381.09 with Dave Schmitt Construction Co., Inc. for the NE Quadrant, 2008 Flood, Sanitary Sewer Repairs, Phase 2, Bid Package 1 project (original contract amount was \$874,227.25; total contract amount with this amendment is \$854,840.85). **(Flood)** CIP/DID #SSD102-05
- p. Change Order No. 4 in the amount of \$32,677.44 with Tricon General Construction for the J Avenue Water Plant Process Improvements – Phase 1 project (original contract amount was \$7,276,000; total contract amount with this amendment is \$7,488,160.77). CIP/DID #6250026-02
- q. Certified Local Government 2015 Annual Report for submission to the State Historical Society of Iowa. CIP/DID #OB691376
- r. 28E Agreement with Linn County to participate in the estimated cost of construction of \$162,786.70 for a Portland Cement Concrete (PCC) overlay on Ely Road SW from 0.4 miles south of Linn-Johnson County Line N for 0.8 mi and from Ely City limits N 3 miles. **(Paving for Progress)** CIP/DID #301935-00
- s. Payment of an Economic Development Grant of \$8,415 to the Linn County Treasurer to satisfy the 3rd Street SE Streetscape Reinvestment Project assessment for Jelinek Companies, LLC for the property located at 1117 3rd Street SE. CIP/DID #OB321562-02
- t. Agreement for Utility Relocation in the amount of \$503,197 and an Approval for Street Lighting with Interstate Power and Light Company in connection with the 1st Avenue East from 27th Street to 34th Street project. CIP/DID #301240-00
- u. Agreement for Utility Relocation with Mediacom Communications Corporation in the amount of \$72,745.52 in connection with the 1st Avenue East from 27th Street to 34th Street project. CIP/DID #301240-00
- v. Concrete Sidewalk Petition and Assessment Agreement from Czech National Cemetery Association of Cedar Rapids for sidewalk installation along Bowling Street SW frontage adjacent to 2200 C Street SW in connection with the 2015 Sidewalk Infill Project – Phase 2 project. CIP/DID #3012074-00
- w. Accepting a bid in the amount of \$280,000 from CommonBond Communities for the disposition of excess City-owned property described as a 1.98 acre parcel of vacant land located at 1200 Edgewood Road NW. CIP/DID #52-13-002
- x. Total Real Estate Acquisition Purchase Agreement in the amount of \$171,000, plus an amount estimated to be \$41,000 in relocation benefits to Dennis R. and Justina M. Kremenak, and accepting a Warranty Deed for property located at 409 Old Marion Road NE in connection with the Collins Road (IA 100) from Council Street NE to 1st Avenue project. CIP/DID #301446-00
- y. Purchase Offer Voluntary Property Acquisition Program Conditional Offer to Buy Real Property and Acceptance in the amount of \$218,000, plus a total amount estimated to be \$20,000 in relocation benefits, to Bradford J. and Kathleen M. Colton for real property located at 4264 Cottage Grove Parkway SE in connection with the Sun Valley Flood Protection project. CIP/DID #304224-00
- z. Amendment No. 1 to the Development Agreement with Commonwealth Senior Apartments, LP, extending the construction completion date to July 1, 2016. CIP/DID #OB654103
- aa. Assignment and Assumption of Development Agreements from Hobart Historic Restoration, LLC. to Cedar Valley Habitat for Humanity, Inc. for properties at 1100, 1104 and 1108 K Street SW participating in the fourth round of the Single Family New Construction program. **(Flood)** CIP/DID #OB540257

- ab. Awarding and approving contract in the amount of \$1,703,825.76, bond and insurance of Metro Pavers, Inc. for the 18th Street SW Extension from Wilson Avenue to 16th Avenue PCC Pavement – Grade and Replace project (estimated cost is \$2,329,537). CIP/DID #301500-06
- ac. Awarding and approving contract in the amount of \$1,225,252.34 plus incentive up to \$36,000, bond and insurance of Horsfield Construction, Inc. for the 74th Street NE from White Ivy Place to C Avenue NE Roadway Improvements project. **(Paving for Progress)** CIP/DID #3012050-02
- ad. Awarding and approving contract in the amount of \$2,180,979.80 plus incentive up to \$60,000, bond and insurance of Horsfield Construction, Inc. & Subsidiary for the C Avenue NE Improvements from Collins Road to Blairs Ferry Road PCC Pavement – Grade and Replace project. CIP/DID #301612-04
- ae. Awarding and approving contract in the amount of \$59,629.75 plus incentive up to \$2,000, bond and insurance of SulzCo, LLC for the Hidden Hollow Lane East of 16th Street NW Storm Sewer Improvements project (estimated cost is \$68,000). CIP/DID #304441-02

REGULAR AGENDA

- 30. Report on bids for the 1st Avenue East South of 24th Street Drive SE Storm Sewer Improvements project (estimated cost is \$89,000) (Dave Wallace). CIP/DID #304391-03
 - a. Resolution awarding and approving contract in the amount of \$68,696.80 plus incentive up to \$3,000, bond and insurance of Rathje Construction Company for the 24th Street Drive SE Storm Sewer Improvements project.
- 31. Report on bids for the 27th Street SW between 28th Avenue and 29th Avenue Culvert Replacement project (estimated cost is \$528,000) (Dave Wallace). CIP/DID #304396-02
 - a. Resolution awarding and approving contract in the amount of \$429,450.20, plus incentive up to \$5,000, bond and insurance of Ricklefs Excavating for the 27th Street SW between 28th Avenue and 29th Avenue Culvert Replacement project (estimated cost is \$528,000)
- 32. Report on bids for the 42nd Street NE from I-380 to Wenig Road NE Pavement and Water Main Rehabilitation project (estimated cost is \$3,550,000) (Doug Wilson). CIP/DID #3012092-02
 - a. Resolution awarding and approving contract in the amount of \$2,948,134.70 plus incentive up to \$160,000, bond and insurance of Rathje Construction Company for the 42nd Street NE from I-380 to Wenig Road NE Pavement and Water Main Rehabilitation project.

33. Report on bids for the West Post Road NW from Plainview Drive NW to E Avenue NW Roadway Reconstruction project (estimated cost is \$1,388,000) (Doug Wilson). **(Paving for Progress)** CIP/DID #3012120-04
- a. Resolution awarding and approving contract in the amount of \$919,833.70 plus incentive up to \$42,000, bond and insurance of Rathje Construction Company for the West Post Road NW from Plainview Drive NW to E Avenue NW Roadway Reconstruction project (estimated cost is \$1,388,000)

ORDINANCES

Third Reading

34. Ordinance amending Chapter 22A of the Municipal Code, Nuisance Property, by deleting Chapter 22A and enacting a new Chapter 22A in its place, establishing regulations relating to statement of public policy, nuisance activity, service of notice, prohibitions, and administrative appeals. CIP/DID #OB807542

Second and possible Third Readings

35. Ordinance granting a change of zone for property at 4600 20th Avenue SW from C-3, Regional Commercial Zone District, to I-1, Light Industrial Zone District as requested by Midwest 3PL and Rick Stickle. CIP/DID #RZNE-022431-2015

First and possible Second and Third Readings

36. Ordinance amending Chapter 32 of the Municipal Code, the Zoning Ordinance, to clarify the Czech Bohemia Overlay District with design standards and guidelines. CIP/DID #OB715322

PUBLIC INPUT

This is an opportunity for the public to address the City Council on any subject pertaining to Council business. If you wish to speak, place your name on the sign-up sheet on the table outside the Council Chambers and approach the microphone when called upon.

CITY MANAGER COMMUNICATIONS AND DISCUSSIONS

COUNCIL COMMUNICATIONS AND DISCUSSION

During this portion of the meeting, Council members may bring forward communications, concerns and reports on various matters and may discuss the items specifically listed.

1. Mayor Corbett
2. Council member Gulick
3. Council member Olson
4. Council member Overland
5. Council member Poe
6. Council member Russell
7. Council member Shey
8. Council member Shields
9. Council member Weinacht

It is the policy of the City of Cedar Rapids that all public meetings are accessible to people with disabilities. If you need assistance in participating in City Council public meetings due to a disability as defined under the Americans with Disabilities Act, please call the City Clerk's Office at (319) 286-5060 at least two (2) business days prior to the scheduled meeting to request an accommodation

Agendas and minutes for Cedar Rapids City Council meetings can be viewed at www.cedar-rapids.org



Council Agenda Item Cover Sheet

Submitting Department: Development Services

Presenter at Meeting: Vern Zakostelecky
E-mail Address: v.zakostelecky@cedar-rapids.org

Phone Number/Ext.: 319 286-5043

Alternate Contact Person: Joe Mailander
E-mail Address: j.mailander@cedar-rapids.org

Phone Number/Ext.: 319 286-5822

Description of Agenda Item: PUBLIC HEARINGS

A public hearing to consider annexation of territory north of 16th Avenue NW and east of 80th Street NW as requested by the Laurence A. Schulte Trust.
 CIP/DID #ANNX-022377-2015

EnvisionCR Element/Goal: ProtectCR Goal 2: Manage growth and development to balance costs and serviceability to neighborhoods.

Background:

Property Owner, Laurence A. Schulte Trust submitted a written application for voluntary annexation to the City of Cedar Rapids. The total area to be annexed is approximately 77 acres. There is County right-of-way including half street right-of-ways for both 16th Avenue NW and 80th Street NW that need to be included in the annexation. The owners wish to annex at this time to allow for marketing the property for future development. City sanitary sewer and water are available to the site. All other City services including Police and Fire protection, street maintenance, and garbage and recycling collection are also available since this site is adjacent to the City limits. The application has been reviewed by City staff and no major issues were identified.

Notices were mailed and published in accordance with State Code requirements. The annexation will not require approval by the Iowa Department of Economic Development City Development Board since the property is not within two miles of another jurisdiction and there is no non-consenting property owners involved in the annexation. If approved by City Council Resolution the application will be sent to the Secretary of State for review and recordation.

Action/Recommendation: City staff recommends holding the public hearing and voting on the resolution.

Alternative Recommendation: City Council may table and request further information.

Time Sensitivity: N/A

Resolution Date: February 9, 2016

Budget Information: N/A

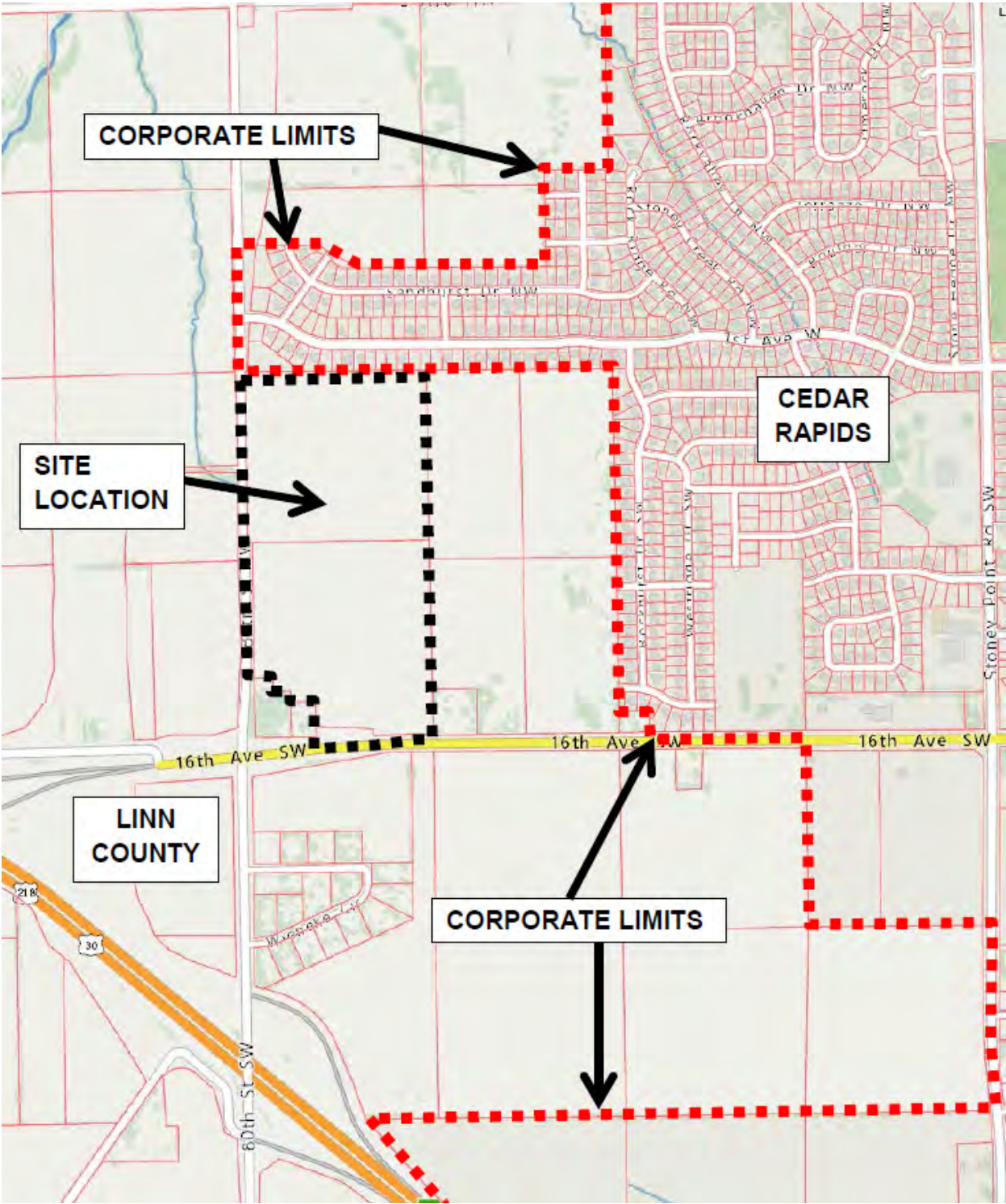
Local Preference Policy: NA

Explanation: N/A

Recommended by Council Committee: NA

Explanation: N/A

Location Map



ANL	DSD
ASR	BSD
CD	CLK
ECICOG	ENG
FIR	IDOT
JC	LC ASR
LC AUD	LC BLD
LC BOS	PD
PKS	RCR
STR	SWM
TED	TRN
USPS	VOTER REG
WPC	WTR
ANNX-022377-2015	

RESOLUTION NO. LEG_NUM_TAG

RESOLUTION APPROVING THE ANNEXATION OF PROPERTY LOCATED NORTH OF 16TH AVENUE SW AND EAST OF 80TH STREET SW

WHEREAS, the City of Cedar Rapids, Iowa received annexation application from Laurence A. Schulte Trust for the annexation of territory located north of 16th Avenue SW and east of 80th Street SW; and

WHEREAS, it is in the best interest of the City of Cedar Rapids that the property legally described as:

Braeburn 1st Addition, Lot 2, Linn County, Iowa and Plat of Survey 1185, Parcel A, Linn County, Iowa.

be annexed to the City of Cedar Rapids at this time.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the territory legally described above, is hereby annexed by the City of Cedar Rapids, Iowa, in a manner provided by Chapter 368 of the Code of Iowa, 2005, and that said property shall become a part of the City of Cedar Rapids, Iowa.

BE IT FURTHER RESOLVED that the City Clerk be authorized and directed to file a copy of this resolution, together with the legal description and map of the property, with the appropriate agencies as specified by the Code of Iowa.

PASSED_DAY_TAG

LEG_PASSED_FAILED_TAG

MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG



Council Agenda Item Cover Sheet

Submitting Department: Development Services

Presenter at Meeting: Johnny Alcivar
E-mail Address: j.alcivar@cedar-rapids.org

Phone Number/Ext.: 319 286-5132

Alternate Contact Person: Joe Mailander
E-mail Address: j.mailander@cedar-rapids.org

Phone Number/Ext.: 319 286-5822

Description of Agenda Item: PUBLIC HEARINGS

A public hearing will be held to consider granting a change of zone for property at 7708 6th Street SW from A, Agriculture Zone District, to I-2, General Industrial Zone District as requested by TH Development and Louis L. and Margaret Ellen Barta.
 CIP/DID # RZNE-022246-2015

<p>EnvisionCR Element/Goal: GrowCR Goal 1: Encourage mixed-use and infill development.</p>

Background: The request for a Rezoning without a Preliminary Site Development Plan was reviewed by the City Planning Commission on January 7, 2016 and approval was recommended unanimously. A portion of the minutes is attached.

The property is currently zoned A, Agriculture Zone District, and I-2, General Industrial Zone District. This is a request to rezone a portion of the area currently zoned A, to the I-2 Zone District to correct a boundary discrepancy and allow for the development of the area currently zoned I-2. The property is identified as "Industrial" on the City's Future Land Use Map in EnvisionCR, the City's Comprehensive Plan.

Application Process/Next Steps:

Actions	Comments
City staff review	<ul style="list-style-type: none"> City staff reviewed the application and recommends approval of the rezoning request.
City Planning Commission review	<ul style="list-style-type: none"> The City Planning Commission reviewed the application on January 7, 2016 and recommended approval on a 9 to 0 vote. A portion of the minutes is attached.
City Council consideration	<ul style="list-style-type: none"> A Public Hearing to allow for public input and the First Reading of the Ordinance to be scheduled for February 9, 2016. Two additional readings of the Ordinance by City Council are required by State law before approval of the rezoning is final. Approval of the rezoning will be subject to the conditions stated in the Ordinance.

Action/Recommendation: City staff recommends holding the public hearing and approval of a possible First Reading.

Alternative Recommendation: City Council may table this item and request further information.

Time Sensitivity: NA

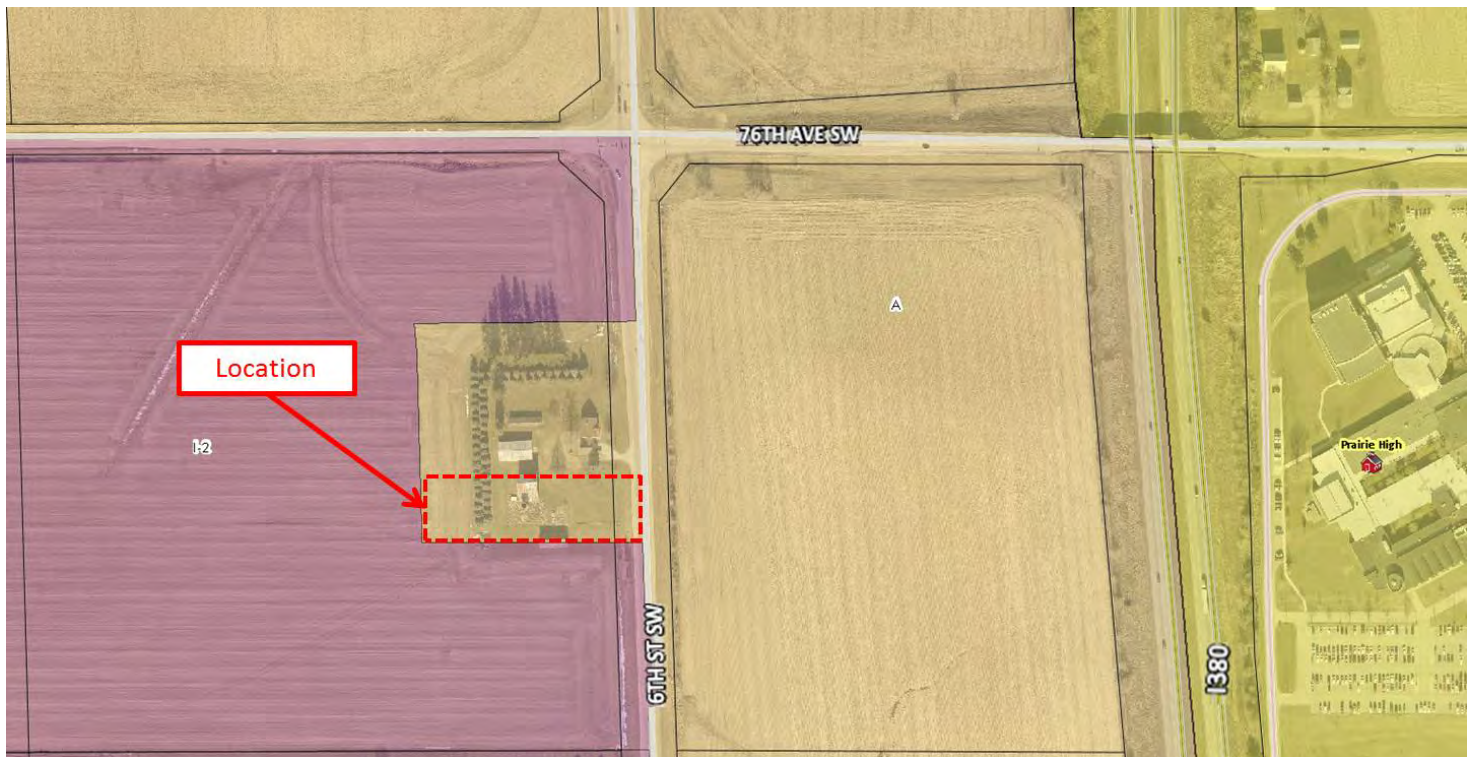
Resolution Date: NA

Budget Information: NA

Local Preference Policy: NA

Recommended by Council Committee: NA

Location Map





City Planning Commission
City of Cedar Rapids
101 First Street SE
Cedar Rapids, IA 52401
Telephone: (319) 286-5041

**MINUTES OF
CITY PLANNING COMMISSION MEETING,
Thursday, January 7, 2016 @ 3:00 p.m.**

Cedar Rapids City Hall Council Chambers, 101 First Street SE

Members Present: Jim Halverson, Chair
 Richard Pankey, Vice Chair
 Carletta Knox-Seymour (Arrived at 3:05pm)
 Virginia Wilts
 Samantha Dahlby
 Kim King
 Dominique Blank
 Bill Hunse
 Anthony Brown

DSD Staff: Joe Mailander, Manager
 Vern Zakostelecky, Zoning Administrator
 Johnny Alcivar, Development Services Specialist

CD Staff: Seth Gunnerson, Planner
 Adam Lindenlaub, Planner
 Bill Micheel, Assistant Director
 Betty Sheets, Administrative Assistant

City Council Liaison: Justin Shields

Call Meeting to Order

The meeting was called to order at 3:00 p.m.

Opening statements were presented stating the protocol of the meeting and the purpose of the City Planning Commission.

Roll Call

Roll call was answered with nine (9) Commissioners present.

A. Approval of the Minutes

Commissioner Halverson called for any additions or corrections to the minutes. Commissioner Halverson stated with no additions or corrections, the December 3, 2015 Minutes stand approved.

B. Adoption of the Agenda

Commissioner Halverson called for any additions or corrections to the agenda. Commissioner Halverson stated with no additions or corrections, the agenda stands approved.

C. Action Items

1. Case Name: 7708 6th Street SW (Rezoning)

Consideration of a change of zone from A, Agriculture Zone District to I-2, General Industrial Zone District as requested by TH Development, LLC (Applicant) and Louis L. and Margaret Ellen Barta (Titleholders)

Case No: RZNE-022246-2015; Case Manager: Johnny Alcivar

Mr. Alcivar reviewed the City Planning Commissions Criteria for recommendation and action, Mr. Alcivar state the property is currently zoned A, Agriculture Zone District and I-2, General Industrial Zone District and this is a request to rezone a portion of the area zoned A, Agriculture Zone District to the I-2, General Industrial Zone District to allow for the previously approved development of semi-trailer sales and service facility. Mr. Alcivar presented two Location Maps, General Information, the approved Preliminary Plat, the approved Preliminary Site Development Plan, Zoning and Street View and Next Steps. Mr. Alcivar stated the rezoning would be a public hearing at the February 9th City Council Meeting.

Commissioner Halverson called for questions of Mr. Alcivar.

Commissioner Hunse asked about trash enclosures on the site. Mr. Alcivar stated the Administrative Review Plan will show those enclosures. Commissioner Hunse stated the same for oil and grease. Mr. Zakostecky stated that as a point of clarification, this is a cleanup of a portion of this farmstead that is required to be rezoned I-2, General Industrial Zone District and that all departments reviewed the Administrative Review Plan

Commissioner Halverson called for a representative of the applicant.

Brent Jackman, Hall & Hall Engineers, 1860 Boyson Road, Hiawatha, IA and stated that Mr. Alcivar and Mr. Zakostecky had done a great job of answering the questions.

Commissioner Hunse asked if the grading and drainage plan satisfy the concerns of settlement and containment area had been addressed. Mr. Jackman stated that had all been addressed properly.

Commissioner Halverson called for members of the public who wished to speak. No members of the public wished to speak.

Commissioner Halverson called for a motion. Commissioner Pankey made a motion to approve the change of zone from A, Agriculture Zone District to I-2, General Industrial Zone District. Commissioner Knox-Seymour seconded the motion.

Commissioner Halverson called for discussion on the motion. No further discussion.

Commissioner Halverson called for a vote on the motion. The motion passed unanimously with none opposed.

The meeting was adjourned at 4:23 pm

Respectfully Submitted,
Betty Sheets, Administrative Assistant
Community Development and Planning Department

WTR DSD
ENG BSD
FIR STR
CLK TED
PKS
RCR
RZNE-022246-2015

ORDINANCE NO. LEG_NUM_TAG

AN ORDINANCE PASSED IN ACCORDANCE WITH CHAPTER 32, AS AMENDED, OF THE MUNICIPAL CODE OF CEDAR RAPIDS, IOWA, BEING THE ZONING ORDINANCE, CHANGING THE ZONING DISTRICT AS SHOWN ON THE "DISTRICT MAP" FOR THE PROPERTY MORE PARTICULARLY DESCRIBED IN SECTION 1 OF THIS ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, as follows:

Section 1. That in accordance with Chapter 32, as amended, of the Municipal Code of Cedar Rapids, Iowa, being the Zoning Ordinance, that the property described as follows;

PART OF THE NORTH HALF OF THE NORTHEAST QUARTER, SECTION 20, TOWNSHIP 82 NORTH, RANGE 7 WEST OF THE FIFTH PRINCIPAL MERIDIAN, CEDAR RAPIDS, LINN COUNTY, IOWA DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID NORTHEAST QUARTER AND THE WEST RIGHT OF WAY OF 6TH STREET S.W.; THENCE N1°40'58"W 422.00 FEET ALONG SAID WEST RIGHT OF WAY TO THE POINT OF BEGINNING; THENCE S88°11'19"W 319.88 FEET; THENCE N1°48'41"W 107.51 FEET; THENCE N89°43'53"E 81.44 FEET; THENCE N0°16'07"W 60.00 FEET; N89°43'53"E 182.25 FEET; THENCE NORTHEASTERLY 3.33 FEET ALONG THE ARC OF A 120.00 FOOT RADIUS CURVE, CONCAVE NORTHERLY (CHORD BEARS N88°56'11"E 3.33 FEET); THENCE N88°08'29"E 51.34 FEET TO SAID WEST RIGHT OF WAY; THENCE S1°48'41"E 160.38 FEET ALONG SAID WEST RIGHT OF WAY TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 1.09 ACRES, SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

and located at 7708 6th Street SW, now zoned A, Agriculture Zone District, and as shown on the "District Map," be rezoned and changed to I-2, General Industrial Zone District, and that the property be used for such purposes as outlined in the I-2, General Industrial Zone District, as defined in Chapter 32 of the Municipal Code of Cedar Rapids, Iowa.

Section 2. That this Ordinance and the zoning granted by the terms hereof are subject to the conditions which have been agreed to and accepted prior to the passage of this Ordinance in writing (shown by attached Acceptance) by the owners and are binding upon the owners, successors, heirs, and assigns, as follows:

1. Subject property shall be platted per State and City platting regulations.
2. That all parking, drives, and storage areas be surfaced per provisions of the Zoning Ordinance. Surfacing to include asphalt, concrete, brick or asphaltic macadam.
3. All lighting shall be of a type, design and placement, and also be shielded in a manner to minimize impact on residential properties or uses adjacent to or immediately across the street.
4. All construction requires review by the Airport.

Section 3. That this Ordinance shall be in full force and effect from and after its passage and publication as provided by law.

Introduced this 9th day of February, 2016.

PASSED_DAY_TAG

LEG_PASSED_FAILED_TAG

MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG



Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at Meeting: Rita Rasmussen
E-mail Address: r.rasmussen@cedar-rapids.org

Phone Number/Ext.: 5807

Alternate Contact Person: Carol Morgan
E-mail Address: c.morgan@cedar-rapids.org

Phone Number/Ext.: 5092

Description of Agenda Item: PUBLIC HEARINGS

A public hearing will be held to consider the continuation of the disposition of excess City-owned property described as a one acre parcel of vacant land located easterly of and adjacent to 3425 and 3435 3rd Avenue SE.

CIP/DID #PRD-022224-2015

Resolution authorizing the disposition of excess City-owned property described as a one acre parcel of vacant land located easterly of and adjacent to 3425 and 3435 3rd Avenue SE.

<p>EnvisionCR Element/Goal: GrowCR Goal 2: Manage Growth.</p>
--

Background: This parcel was originally acquired by the town of Kenwood Park in 1916 and became a part of the City of Cedar Rapids when it was annexed in 1926. Because this non-purposeful parcel is landlocked, it will be offered for sale by sealed bid only to adjacent parcel owners, and must be combined with the new owner's parcel to form one tax parcel. Additionally, an easement will be established prior to disposition to accommodate existing City sanitary sewer facilities at the location. As determined by the City Assessor, the current value is \$5,400, which will be the list price for the disposition process.

By disposing of this property, the City will no longer be responsible for the maintenance of the property and will attain the goal of placing this property back on the tax roll.

Action/Recommendation: The Public Works Department recommends approving the resolution continuing the disposition of this excess parcel of non-purposeful vacant land.

Alternative Recommendation: Continue to maintain the property and opt not to receive the benefit of property taxes on this parcel.

Time Sensitivity: Normal

Resolution Date: February 9, 2016

Budget Information: NA

Local Preference Policy: NA

Explanation: This does not fit the criteria outlined in the policy and therefore, does not apply.

Recommended by Council Committee: NA

Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

RESOLUTION TO CONTINUE THE DISPOSITION OF EXCESS CITY-OWNED PROPERTY

WHEREAS, the City of Cedar Rapids City Council has determined it is in the public interest to dispose of excess City-owned property described as:

A one acre parcel of vacant land located easterly of and adjacent to 3425 and 3435 3rd Avenue SE

, and

WHEREAS, on February 9, 2016 at the Council Chambers, 3rd Floor, City Hall, 101 First Street SE, Cedar Iowa, the Cedar Rapids City Council, after notice as required by law, held a public hearing to consider the disposition of said property,

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA that the City Council hereby authorizes the continuation of the disposition of said excess City-owned property.

PASSED_DAY_TAG

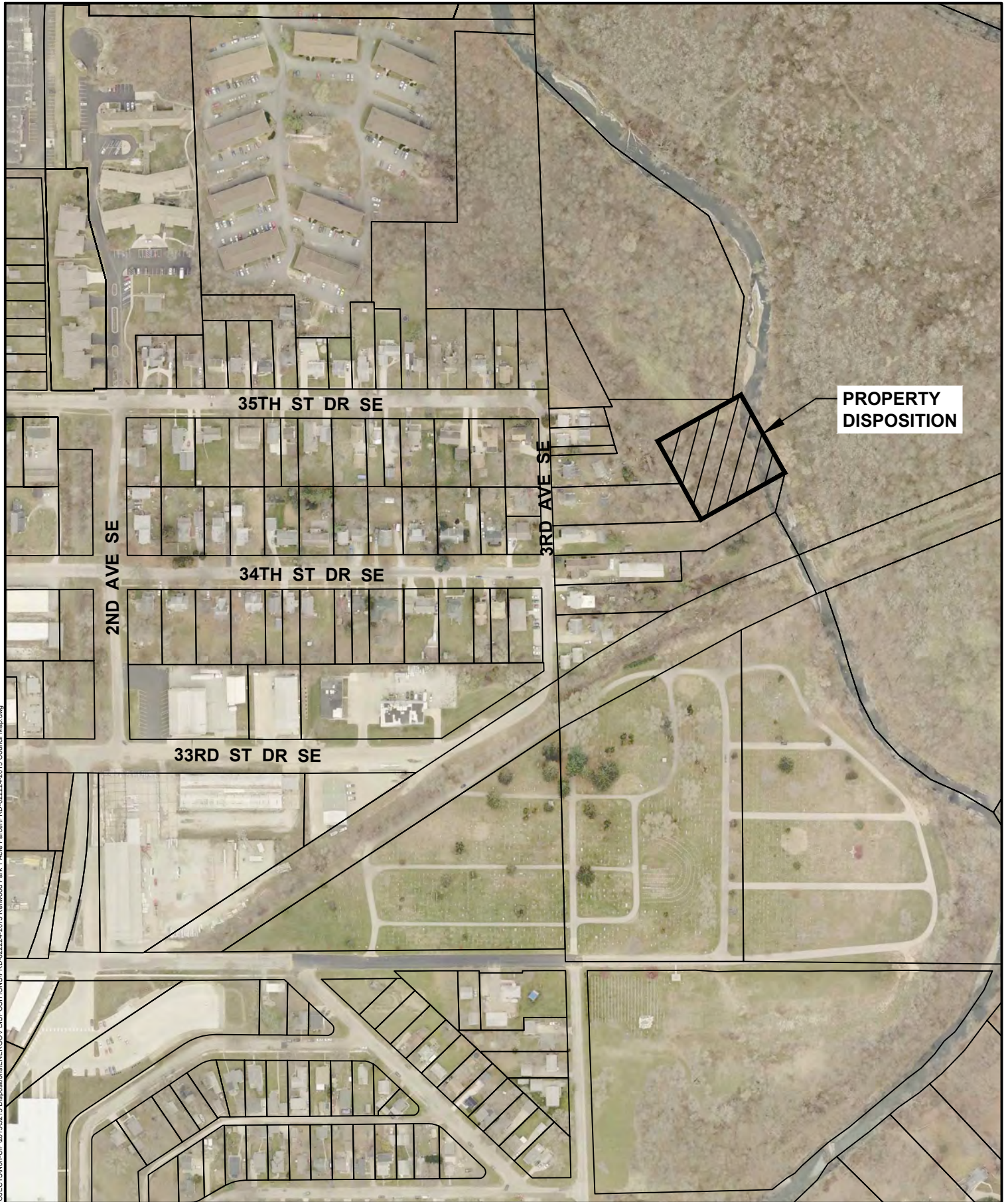
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MayorSignature

Attest:

ClerkSignature

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**PROPERTY
DISPOSITION**

35TH ST DR SE

34TH ST DR SE

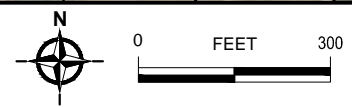
33RD ST DR SE

2ND AVE SE

3RD AVE SE



PROPERTY DISPOSITION



PRD-022224-2015



Council Agenda Item Cover Sheet

Submitting Department: Public Works Department

Presenter at meeting: Rita Rasmussen

Phone Number/Extension: 5807

E-mail Address: r.rasmussen@cedar-rapids.org

Alternate Contact Person: Carol Morgan

Phone Number/Extension: 5092

E-mail Address: c.morgan@cedar-rapids.org

Description of Agenda Item: PUBLIC HEARINGS

A public hearing will be held to consider the vacation of public ways and grounds in and to the property described as a 5.3 acre parcel of vacant City-owned land known as Osborn Park, and a 40-foot wide strip of unused right-of-way located southeasterly of 15th Avenue SE and formerly known as 1st Street SE, as requested by the City of Cedar Rapids in connection with the Cedar Rapids Flood Control System project.

First Reading: Ordinance vacating public ways and grounds in and to the property described as a 5.3 acre parcel of vacant City-owned land known as Osborn Park, and a 40-foot wide strip of unused right-of-way located southeasterly of 15th Avenue SE and formerly known as 1st Street SE, as requested by the City of Cedar Rapids in connection with the Cedar Rapids Flood Control System project.

CIP/DID #ROWV-022220-2015.

EnvisionCR Element/Goal: ProtectCR Goal 1: Protect Cedar Rapids from flooding and other hazards.

Background: The City of Cedar Rapids would like to utilize this vacant parcel of land and unused strip of right-of-way for the construction of the NewBo/Sinclair levee. This request is consistent with the Cedar River Flood Control System Master Plan, which was approved by City Council on June 23, 2015.

Action/Recommendation: The Public Works Department recommends holding the first reading of the ordinance to vacate this 5.3 acre parcel of vacant City-owned land and 40-foot wide strip of unused right-of-way.

Alternative Recommendation: If the Council does not vote to vacate this excess City-owned vacant parcel and right-of-way, the alternative is to modify the City's plans for a flood control levee at this location.

Time Sensitivity: Normal

Resolution Date: Proposed timeline as follows:

Public Hearing Date and possible 1st reading of Ordinance: February 9, 2016

2nd reading of Ordinance, possible 3rd reading and possible resolution passing: February 23, 2016

Budget Information: NA

Local Preference Policy: NA

Explanation: This does not fit the criteria outlined in the policy and, therefore, does not apply.

Recommended by Council Committee: NA

Explanation: NA

ENG
ASR
RCR
TRS
CD
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STR
IT

ROWV-022220-2015

ORDINANCE NO. LEG_NUM_TAG

**AN ORDINANCE VACATING PUBLIC WAYS AND GROUNDS REGARDING PROPERTY
MORE PARTICULARLY DESCRIBED IN SECTION 1 HEREOF.**

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, as follows:

Section 1. That the public ways and grounds in and to the property hereafter described is permanently vacated:

5.3 acre parcel of vacant City-owned land known as Osborn Park and legally described as J C May's (Petrovitsky's Replat) Lots 12 through 23 Block 1 and Out Lot A, and 40-foot wide right-of-way formerly known as 1st Street SE and located between said Lots 12 through 23 and Out Lot A

Section 2. That this Ordinance shall be in full force and effect from and after its passage and publication as provided by law.

Introduced this 9th day of February, 2016.

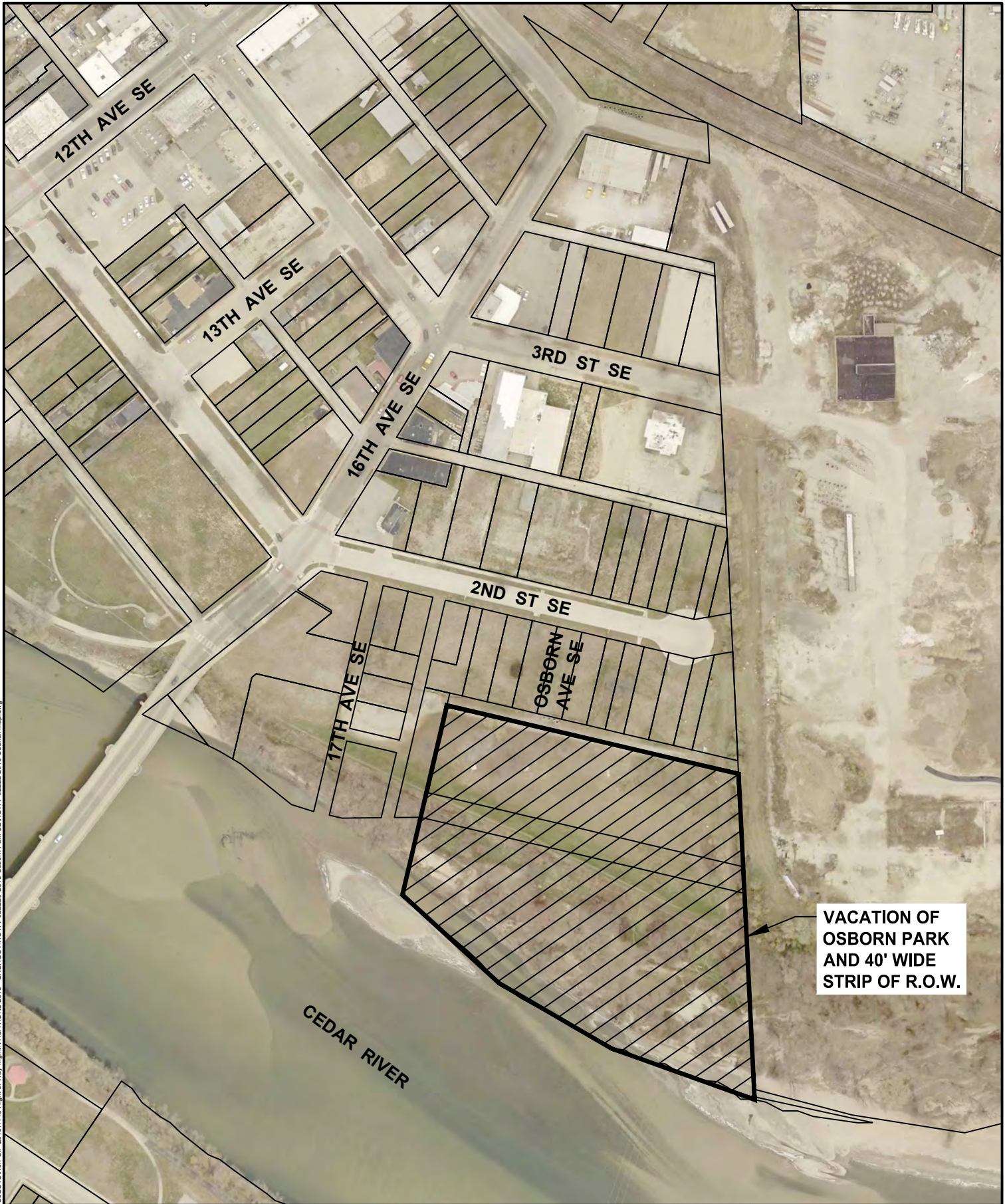
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MayorSignature

Attest:
ClerkSignature

LEG_TABLED_TAG



Cadd File Name: W:\PROJECTS\Non-CIP\2015\4115 Right of Way Mgmt\Vacations 2015 - ENRG\ROWV-022220-2015 Osborn Park SE ROW-022220-2015 Council Map.dwg





Council Agenda Item Cover Sheet

Submitting Department: Water Pollution Control

Presenter at Meeting: Steve Hershner
E-mail Address: s.hershner@cedar-rapids.org

Phone Number/Ext.: 5281

Alternate Contact Person: Jim Flamming, PE
E-mail Address: j.flamming@cedar-rapids.org

Phone Number/Ext.: 5968

Description of Agenda Item: PUBLIC HEARINGS

To consider the plans, specifications, form of contract and estimated cost for the Southbound Right-Turn Lane, Iowa Highway 13 & Bertram Road project (estimated cost is \$214,800) (Steve Hershner).

Resolution adopting plans, specifications, form of contract and estimated cost for the Southbound Right-Turn Lane, Iowa Highway 13 & Bertram Road project.

CIP/DID #6150015-02

EnvisionCR Element/Goal: ProtectCR Goal 3: Maintain and provide quality services to the community.

Background: The City of Cedar Rapids Utilities Department wants to improve right turn safety on to Bertram Road from Iowa Highway 13. The project is intended to enhance the safety of through traffic on Highway 13, vehicles making deliveries to the WPCF and general traffic slowing to make a right turn on to Bertram Road from Highway 13.

Bids will be opened and publicly announced on February 24, 2016.

Action/Recommendation: The Utilities Department – Water Pollution Control Division staff recommends approval of the resolution adopting the plans, specifications, form of contract and estimated cost for the Southbound Right-Turn Lane, Iowa Highway 13 & Bertram Road project.

Alternative Recommendation: None

Time Sensitivity: 02-09-16

Resolution Date: 02-09-16

Budget Information:

1. **Included in Current Budget Year.** Yes. The project will be funded from the FY2016 and FY2018 Water Pollution Control Division Capital Improvement Program budget.
2. **Analysis if the expenditure is within budgeted expectations, i.e. some type of budget to actual comparison:** There is currently \$100,000 in the FY2016, and \$100,000 in the FY2017 Capital Improvement Projects budget for the Water Pollution

Control Division for the Southbound Right Turn Lane, IA-13 and Bertram Rd project. If needed, additional funds are available by adjusting other items in the CIP budget or from reserves. The project will be coded to the following CIP fund: 553000-615-615000-x-x-6150015.

3. **Purchasing Department used or Purchasing Guidelines followed:** Yes, the project is being publicly bid as a Capital Improvement Project.

Local Preference Policy: NA

Explanation: Capital Improvement Projects are not subject to Local Preference Policy.

Recommended by Council Committee: NA

Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, on February 9, 2016 there was filed in the Office of the City Clerk proposed plans, specifications, form of contract and estimated cost for the Southbound Right-Turn Lane, Iowa Highway 13 & Bertram Road project (6150015-02) for the City of Cedar Rapids, Iowa , and

WHEREAS, a public hearing was held, and

WHEREAS, no comments or objections to the plans, specifications, form of contract and estimated cost have been heard,

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the plans, specifications, form of contract and estimated cost for said improvements be and the same are hereby adopted.

PASSED_DAY_TAG

LEG_PASSED_FAILED_TAG

MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG



Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at meeting: Doug Wilson, PE
E-mail Address: d.wilson@cedar-rapids.org

Phone Number/Extension: 5141

Alternate Contact Person: Gary Petersen, PE
E-mail Address: g.petersen@cedar-rapids.org

Phone Number/Extension: 5153

Description of Agenda Item: PUBLIC HEARINGS

A public hearing will be held to consider proposed plans, specifications, form of contract, estimated costs, and advertising for bids by publishing notice to bidders for the B Avenue NW from Highland Drive NW to 8th Street NW Roadway Improvements project. (estimated cost is \$2,600,000) **(Paving for Progress)**.

Resolution adopting plans, specifications, form of contract and estimated cost for the B Avenue NW from Highland Drive NW to 8th Street NW Roadway Improvements project.
 CIP/DID #3012091-02.

EnvisionCR Element/Goal: ConnectCR Goal 4: Improve the function and appearance of our key corridors.

Background: This project includes pavement reconstruction, water main and storm sewer installation. The bid opening is scheduled for February 10, 2016. This is the second letting for this project. After the original letting in spring 2015, the need for water main work was identified. These additional needs have been addressed in the updated design.

Action/Recommendation: The Public Works Department recommends approval of the resolution to adopt plans, specifications, form of contract, estimated costs, setting a public hearing date for the B Avenue NW from Highland Drive NW to 8th Street NW Roadway Improvements project and advertising for bids by publishing notice to bidders for the project.

Alternative Recommendation: The alternative to this project is to defer construction of the project until a later season, direct staff to repackage the project into multiple smaller projects, or abandon the project.

Time Sensitivity: Normal

Resolution Date: February 9, 2016

Budget Information: 301/301000/3012091 SLOST
 625/62500000/6250051-625016014 NA

Local Preference Policy: NA
Explanation: NA

Recommended by Council Committee: NA
Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, on January 26, 2016 there was filed in the Office of the City Clerk proposed plans, specifications, form of contract and estimated cost for the B Avenue NW from Highland Drive NW to 8th Street NW Roadway Improvements project (Contract No. 3012091-02) for the City of Cedar Rapids, Iowa, and

WHEREAS, a public hearing was held, and

WHEREAS, no comments or objections to the plans, specifications, form of contract and estimated cost have been heard, now therefore

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the plans, specifications, form of contract and estimated cost for said improvement be and the same are hereby adopted.

PASSED_DAY_TAG

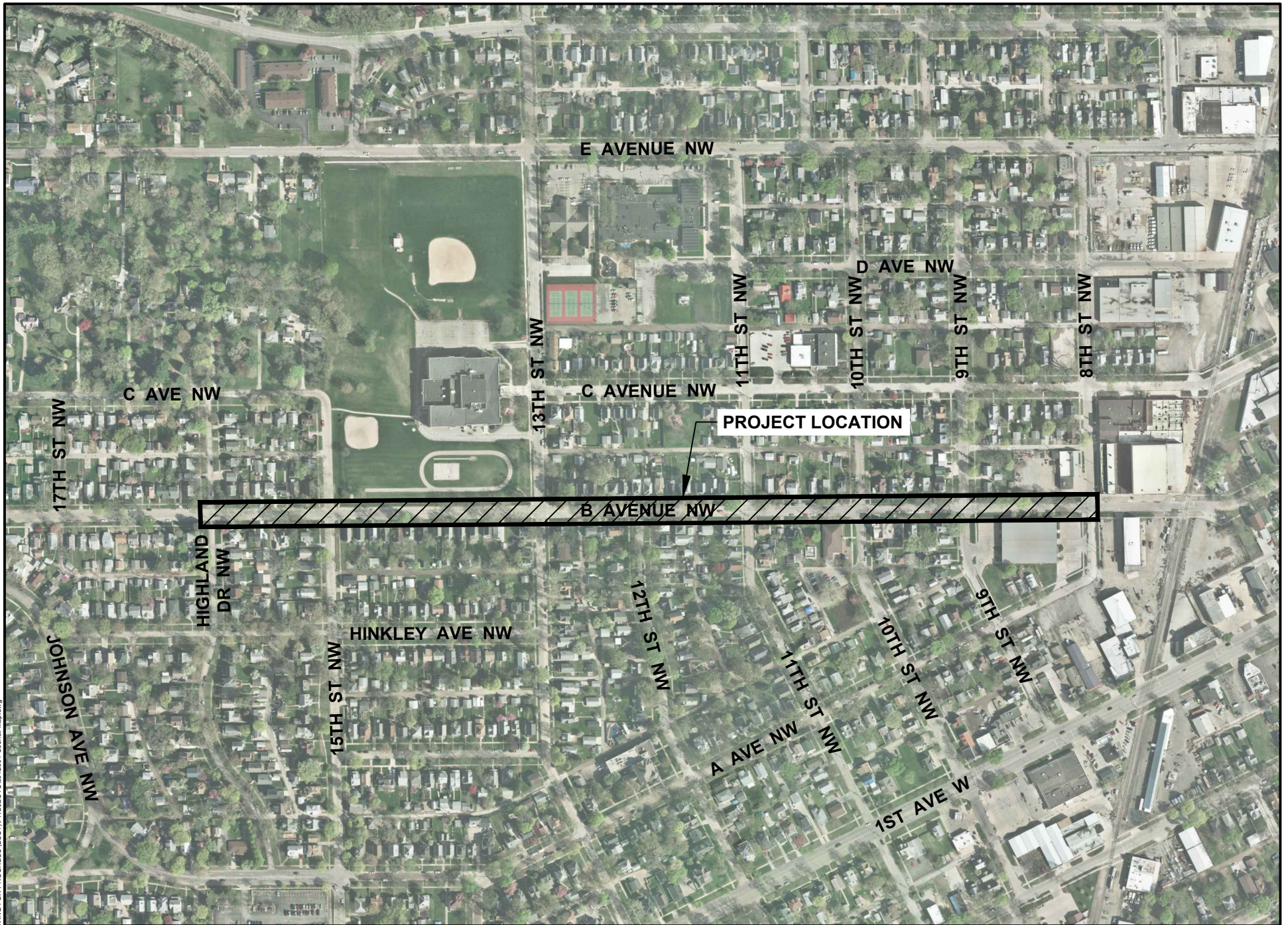
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MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG





Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at meeting: Matt Myers, PE, PTOE
E-mail Address: m.myers@cedar-rapids.org

Phone Number/Extension: 5718

Alternate Contact Person: Kevin Vrchoticky, PE
E-mail Address: k.vrchoticky@cedar-rapids.org

Phone Number/Extension: 5896

Description of Agenda Item: PUBLIC HEARINGS

A public hearing will be held to consider the proposed plans, specifications, form of contract and estimated cost for the Overhead Sign Structures on 7th Street NE from I-380 to 1st Avenue E project (estimated cost is \$100,000).

CIP/DID #306228-01

Resolution adopting plans, specifications, form of contract and estimated cost for the Overhead Sign Structures on 7th Street NE from I-380 to 1st Avenue E project.

EnvisionCR Element/Goal: ConnectCR Goal 4: Improve the function and appearance of our key corridors.

Background: The Iowa DOT Commission has approved Traffic Safety Improvement Program (TSIP) funding in the amount of \$35,000 for upgrading of the pavement markings and two overhead sign structures on 7th Street NE from 1st Avenue E to north of I-380. One overhead sign structure will be located on 7th Street NE between 1st Avenue E and A Avenue NE, and the second overhead sign structure will be located on 7th Street NE between I-380 and A Avenue NE. The TSIP funding was approved to resolve safety issues at the 1st Avenue E & 7th Street intersection and on 7th Street NE between 1st Avenue E and I-380

Action/Recommendation: The Public Works Department recommends approval of the resolution to adopt plans, specifications, form of contract and estimated cost for the project.

Alternative Recommendation: Defer the project and continue with the driver confusion and with the frequency of traffic collisions within the project area.

Time Sensitivity: Must be acted upon February 9, 2016 to maintain the project schedule, and which must occur ahead of the project's February 17, 2016 bid opening

Resolution Date: February 9, 2016

Budget Information: 306/306000/306228 NA

Local Preference Policy: NA
Explanation: NA

Recommended by Council Committee: NA
Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, on January 26, 2016 there was filed in the Office of the City Clerk proposed plans, specifications, form of contract and estimated cost for the Overhead Sign Structures on 7th Street NE from I-380 to 1st Avenue E project (Contract No. 306228-01 NA) for the City of Cedar Rapids, Iowa, and

WHEREAS, a public hearing was held, and

WHEREAS, no comments or objections to the plans, specifications, form of contract and estimated cost have been heard, now therefore

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the plans, specifications, form of contract and estimated cost for said improvement be and the same are hereby adopted.

PASSED_DAY_TAG

LEG_PASSED_FAILED_TAG

MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG



PROJECT LOCATION

7TH STREET NE FROM 1ST AVENUE E
TO NORTH OF I-380 PROJECT





Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at meeting: Nathan Kampman, PE
E-mail Address: n.kampman@cedar-rapids.org

Phone Number/Extension: 5628

Alternate Contact Person: Kevin Vrchoticky, PE
E-mail Address: k.vrchoticky@cedar-rapids.org

Phone Number/Extension: 5896

Description of Agenda Item: PUBLIC HEARINGS

A public hearing will be held to consider the proposed plans, specifications, form of contract and estimated cost for the 400 1st Avenue NE - Five Seasons Parkade Structural Repairs Project (estimated cost is \$900,150).

CIP/DID #635132-02

Resolution adopting plans, specifications, form of contract and estimated cost for the 400 1st Avenue NE – Five Seasons Parkade Structural Repairs Project.

EnvisionCR Element/Goal: InvestCR Goal 3: Reinvest in the city's business corridors and districts.

Background: The Five Seasons Parkade was built in 1977. Shive-Hattery completed a study of the all the parkades, including the Five Seasons Parkade, in 2011. The study shows that the Five Seasons Parkade is in need of life safety maintenance, which will increase the life of the Parkade. Without this maintenance, the Parkade could reach the end of its useful life in the next 5-10 years and be in need of full reconstruction.

The Five Seasons Parkade repair project is funded through an agreed amount as outlined in the Parking asset and lease agreement between the City of Cedar Rapids and Downtown Parking Management Inc. to address the Deferred Maintenance items including life safety and code compliance.

Action/Recommendation: The Public Works Department recommends approval of the resolution to adopt plans, specifications, form of contract and estimated cost for the project.

Alternative Recommendation: If the resolution is not approved on February 9, 2016 the maintenance and safety work would be deferred.

Time Sensitivity: Must be acted upon February 9, 2016 to maintain the project schedule, and which must occur ahead of the project's February 17, 2016 bid opening

Resolution Date: February 9, 2016

Budget Information: 635/635000/635132 NA

Local Preference Policy: NA
Explanation: NA

Recommended by Council Committee: NA
Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, on January 26, 2016 there was filed in the Office of the City Clerk proposed plans, specifications, form of contract and estimated cost for the 400 1st Avenue NE – Five Seasons Parkade Structural Repairs Project (Contract No. 635132-02 NA) for the City of Cedar Rapids, Iowa, and

WHEREAS, a public hearing was held, and

WHEREAS, no comments or objections to the plans, specifications, form of contract and estimated cost have been heard, now therefore

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the plans, specifications, form of contract and estimated cost for said improvement be and the same are hereby adopted.

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MayorSignature

Attest:

ClerkSignature

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Cadd File Name: X:\CIP\635132\02COUNCIL_AGE\DA\635132_Council Map.dwg





Council Agenda Item Cover Sheet

Submitting Department: Community Development - Housing

Presenter at Meeting: Caleb Mason

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Alternate Contact Person: Paula Mitchell

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Description of Agenda Item: CONSENT AGENDA

Resolution rescinding Resolution No. 0199-02-15 which provided City support of the proposed development of the former Chipping Green site at 16th Street NW and Zika Avenue NW and re-authorizing support for the proposed Sanctuary at Ellis project at Zika Avenue and 16th Street NW to secure Workforce Housing Tax Credits and provide local match through Urban Revitalization Tax Exemption.

CIP/DID #OB1241850

EnvisionCR Element/Goal: GrowCR Goal 1: Encourage mixed-use and infill development.

Background: The Resolution rescinds a previously adopted Resolution No. 0199-02-15 that City Council adopted on February 10, 2015 which authorized City support for the Sanctuary at Ellis project proposed by Ahmann Companies (d/b/a NewBo Development Group, LLC) to secure Workforce Housing Tax Credits (WHTC) through the Iowa Economic Development Authority (IEDA).

The Developer is revising its previous application for WHTC and submitting four (4) separate applications based on the build-out of the development. IEDA has requested a revised resolution of support acknowledging the submission of the four (4) separate applications.

The City has received clearance of the site from the Office of the State Archeologist, State Historic Preservation Office, and IEDA necessary for the use federal dollars through the ROOTs program as part of the project. Staff anticipates bringing the Development Agreement to City Council for consideration within the next two months.

Action/Recommendation: Staff recommends adoption of the resolution.

Alternative Recommendation: Table the resolution and request additional information.

Time Sensitivity: N/A

Resolution Date: February 9, 2016

Budget Information: N/A

Local Preference Policy: NA

Recommended by Council Committee: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, Resolution No. 0199-02-15 adopted by the City Council on February 10, 2015 providing City support of the Newbo Development Group, LLCs proposed development of the former chipping green site at Zika Avenue and 16th Street NW to secure Workforce Housing Tax Credits and providing local match through Urban Revitalization Tax Exemption is hereby rescinded; and

WHEREAS, Newbo Development Group, LLC (the "Developer") proposes the construction of the Sanctuary at Ellis project which includes construction of 24 residential units including row houses, duplex townhomes, single-family detached units, and related site improvements (the "Project"); and

WHEREAS, the Project is being phased in accordance with the phasing plan attached hereto as Exhibit A; and

WHEREAS, Developer is applying for Workforce Housing Tax Credits (WHTC) through the Iowa Economic Development Authority (IEDA) and is submitting multiple applications for WHTC funds in accordance with the phasing of the Project provided in Exhibit A; and

WHEREAS, the City Council desires to express its support for the Project to secure WHTC funds through the Iowa Economic Development (IEDA);

WHEREAS, on March 24, 2015 the City Council adopted Resolution No. 0351-03-15 which approved the Sanctuary at Ellis Park Urban Revitalization Area Plan and on April 14, 2015 the City Council passed Ordinance No. 022-15 establishing the Sanctuary at Ellis Park Urban Revitalization Area; and

WHEREAS, the Ellis Park Urban Revitalization Area provides tax exemption to which serves as local match for the WHTC program through the 10-year exemption of increased taxes generated by improvements of the Project which is estimated to be \$1 million over 10-years.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, does hereby express its support for the Project as proposed by the Developer and described herein, and providing local matching dollars through the Urban Revitalization Tax Exemption which meets threshold local match requirements of the Workforce Housing Tax Credit program.

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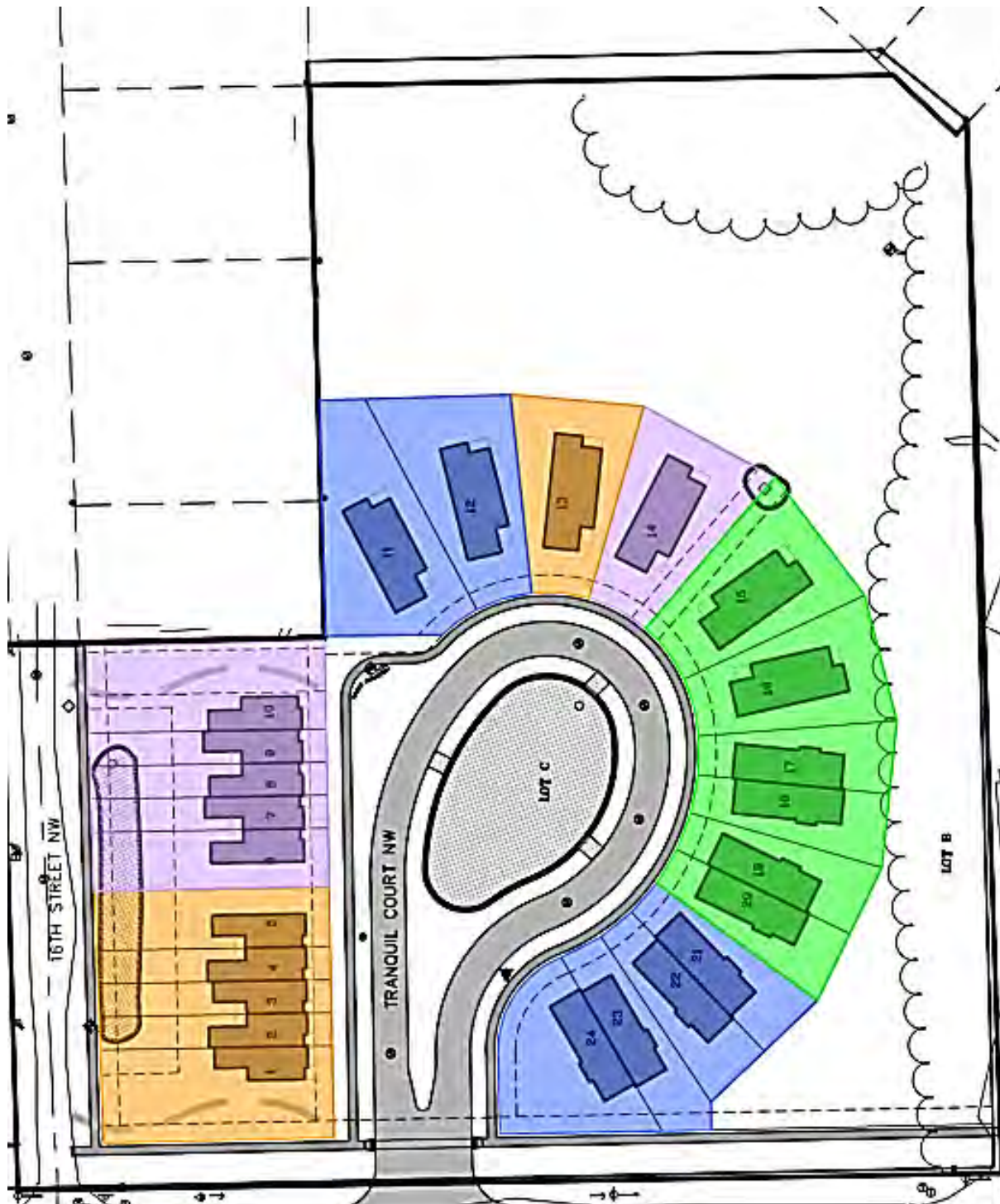
MayorSignature

Attest:

ClerkSignature

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Exhibit A



Phase 1 Contract 15- WHTIP - 027

Phase 2 Contract 15- WHTIP - 028

Phase 3 New - WHTIP APPLICATION

Phase 4 New - WHTIP APPLICATION



Council Agenda Item Cover Sheet

Submitting Department: Community Development

Presenter at Meeting: Kirsty Sanchez
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Alternate Contact Person: Seth Gunnerson
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Phone Number/Ext.: 319 286-5129

Description of Agenda Item: CONSENT AGENDA

Resolution adopting a Czech Bohemia Design Manual for the Czech Bohemia Design Review Overlay District.

CIP/DID #OB715322

EnvisionCR Element/Goal: StrengthenCR Goal 2: Improve the quality and identity of neighborhoods and key corridors.

Background: This resolution adopts a Czech Bohemia Design Manual for the Czech Bohemia Design Review Overlay District (CB-O). The adoption of a Design Manual is contemplated by the Czech Bohemia Design Review Overlay District Ordinance that is on the agenda for adoption on February 9, 2016.

The Design Manual and accompanying ordinance meets several goals of EnvisionCR, including improving the quality and identity of neighborhoods and key corridors by creating enhanced design guidelines and a coordinated identity to development within the district.

The Czech Bohemia Overlay District standards will be similar to the MedQuarter Overlay District standards which were adopted in May 2015. Key differences between the current standards and the proposed standards include:

- More detailed design requirements.
- The addition of standards regarding site furnishings and landscaping.
- Additional design recommendations that will not be included in the ordinance language but will be part of a proposed Design Guide to give guidance to developers.

Each section of the guide contains a number of standards which all new development will be required to meet, along with recommendations on best practices. The draft recommendations cover four aspects of building and site design:

1. Building Massing, Orientation and Site Design – Requiring appropriate placement for urban infill development with an emphasis on pedestrian friendly design.
2. Building Design – Requiring high quality of design for new and renovated buildings.

3. Site Furnishings and Landscaping – Recommendations for elements that enhance site design.
4. Signage – Requirements for attractive building signage as well as permitting districtwide signage.

The proposed updates were taken to Development Committee on November 18, 2015 and to City Planning Commission on December 3, 2015.

Action/Recommendation: Staff recommends approval of the Resolution.

Alternative Recommendation: City Council may table and request additional information.

Time Sensitivity: N/A

Resolution Date: February 9, 2016

Budget Information: N/A

Local Preference Policy: NA
Explanation:

Recommended by Council Committee:

Explanation: The ordinance was reviewed and unanimously recommended by the City Planning Commission on December 3, 2015.

The Development Committee recommended the ordinance and this resolution at its November 18, 2015 meeting.

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OB715322

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, on January 26, 2016 the City Council held a public hearing to consider the deletion of Section 32.03.010.C.6.c.i and enacting in its place in lieu thereof a new Section 32.03.010.C.6.c.i – Czech Bohemia Overlay District; and

WHEREAS, the proposed ordinance contemplates the adoption of a separate Czech Bohemia Design Manual which includes the Czech Bohemia District Standards and additional Design Recommendations for high quality urban design; and

WHEREAS, the District Standards and Design Recommendations in the attached document were reviewed and recommended for adoption by the City Planning Commission on November 4, 2015; and

WHEREAS, the City Council has determined that the proposed Design Standards and Design Recommendations are compatible with the intent and character of the Czech Bohemia Overlay District.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, as follows:

1. That the following provisions of this resolution shall take effect upon adoption of the Czech Bohemia Design Review Overlay District Ordinance.
2. That the attached Czech Bohemia Design Manual is hereby adopted and shall be used as a guide for future development and redevelopment in the Czech Bohemia Design Review Overlay District.

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MayorSignature

Attest:

ClerkSignature

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Czech Bohemia Design Review Overlay District Design Manual

Design Manual adopted by City Council Resolution ____-02-16 on February 9, 2016.

Czech Bohemia Design Review Overlay District adopted by Ordinance 006-12 on February 14, 2012.



Czech Bohemia Design Review District Overview:

What is affected by the Czech Bohemia Overlay District?

- Construction of new buildings.
- Building additions, to the extent feasible.
- Changes to the exterior of buildings, including new signage.

What is NOT affected?

- Single or two family home construction or renovation.
- Any interior work on a building.
- Building maintenance that does not change the exterior.

How are the Standards and Recommendations in this document structured?

Czech Bohemia Overlay District Standards – Shall apply to new construction, additions to existing buildings and/or the exterior rehabilitation of buildings located within the boundaries of the CB-O District and that are submitted after February 9, 2016. The Zoning Administrator may waive certain standards which may not be applicable to certain projects due to scope of work. For example, specific façade requirements may be waived for rehabilitation work on existing structures.

Design Recommendations – Should be considered as part of the development of site plans and the design of buildings within the district. These recommendations include best practices along with suggested strategies to meet district standards and other aspects of the zoning ordinance. These recommendations may be included in recommendations made by the Design Review Committee and may be considered by approval bodies such as the City Planning Commission, Board of Adjustment or City Council.

What is the Design Review Technical Advisory Committee?

The Czech Bohemia DRTAC is a seven member committee tasked with reviewing and providing comment on projects within the overlay district. The Committee is appointed by City Council and is comprised of district stakeholders.

What is the timeline for review of projects in the Overlay District?

- For building permits or site plans which are reviewed and approved by staff:
 - The DRTAC will meet and make recommendations within 10 business days.
- For Land Development projects which go to the City Planning Commission:
 - The DRTAC will review the case prior to the CPC meeting. This will not add time to the project.

Using This Document:

<p>Section I: Building Massing, Orientation and Site Design</p> <p>Section 32.03.010.C.6.c.i.(B).(1)</p> <p>CZECH BOHEMIA OVERLAY DISTRICT STANDARDS</p> <p>(a) Variations in rooflines are encouraged add interest to buildings and reduce the massive scale of large buildings. Buildings which are taller that adjacent structures by more than 1 story should consider the use of upper-floor setbacks, dormers or other architectural features to soften the transition between structures.</p> <p><i>Each site is unique and the use of transitional architectural elements may not be necessary in all cases. Developers are encouraged to consult with adjacent property owners as part of the project development.</i></p> <p>(a) Building height shall be set by the underlying zoning classification except...</p> <p>(b)</p> <p>DESIGN RECOMMENDATIONS:</p> <ol style="list-style-type: none">1. Any mechanical equipment, whether on rooftops or in service/loading areas, should be consolidated if possible and screened from view. <i>(Screening of mechanical equipment is required in Section 32.05.030)</i>2. Screening should be at least as high as the equipment...3.4.	<p>Standards and Recommendations are divided into Sections based on topic.</p> <p>References Particular Section of the Zoning Ordinance where these Standards are found.</p> <p>District Standards are taken from the Zoning Ordinance and must be followed for all development within the District. Certain requirements may be waived by the Zoning Administrator if necessary to preserve existing historic structures.</p> <p>Blue Italic text indicates notes explaining the purpose or intent of certain requirements.</p> <p>Design Recommendations are elements that are encouraged to be included in all projects. They are not part of the Zoning Ordinance but represent best practices for high quality urban development. In some cases design recommendations are included to reference mandatory requirements found in other sections of the Zoning Ordinance.</p> <p>Red Italic text is used to reference the requirements other sections of the Zoning Ordinance.</p>
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Section I: Building Massing, Orientation and Site Design

Section 32.03.010.C.6.c.i.(B).(1)

CZECH BOHEMIA OVERLAY DISTRICT STANDARDS
(a) Commercial buildings shall be constructed with a 10 foot maximum setback (including building plinths). New construction should be pedestrian friendly.
(b) Multi-family buildings shall be constructed with setbacks that lie within the established setback range of the district with care taken to existing buildings on the block.
(c) Buildings shall be placed close to streets, drives and other buildings. Pedestrians shall be able to easily travel between buildings on clearly defined pedestrian paths, not parking lot driveways.
(d) Service/loading areas should not be located near primary entrances to buildings.
(e) Building shall be oriented towards the street with a pedestrian entrance facing the street encouraged.
(f) Building scale and massing shall maintain a relationship with adjacent structures to create building street walls along streets, drives and sidewalks where possible. Building massing shall be consistent with the City's Comprehensive Plan, adjacent structures, and the character of the District.
(g) Proposed facades wider than the established historic range of the block upon which the proposed development is to be located may be permitted, but design features shall be included to mimic traditional building widths of 50 feet or less. Changes in façade material, building height, window style or architectural detail are examples of techniques that may be permitted to break up a façade.
(h) Multi-story buildings are encouraged. Single-story commercial buildings shall take adjacent building heights into consideration. These should be constructed with high ceilings or parapet walls to create a greater feeling of enclosure along the street and to compliment horizontal elements of adjacent buildings.
(i) Buildings shall hold the corners of intersections where possible to enhance the sense of enclosure and pedestrian-orientation of the commercial area. Building heights at the corners of intersections may exceed those of the surrounding block.
(j) The required screening of mechanical, loading, trash, and utilities shall complement materials used on the adjacent building. Brick or decorative stone in combination with decorative fencing and landscaping is preferred.
(k) Site plans should conform to the Pedestrian Friendly Site Design standards of the Commercial and Office Building Placement Guidelines section of the ordinance.
(l) Parking should be located behind buildings when feasible. Parking lots adjacent to sidewalks are discouraged. Additional landscaping and architectural elements shall be required for parking lots adjacent to sidewalks to help contribute to an attractive streetscape.
(m) Where feasible, parking lots shall be linked between sites to reduce the need for district visitors to drive between adjacent stores and services. Shared parking between parcels is encouraged, and parking should be coordinated and signed appropriately to avoid user confusion.

DESIGN RECOMMENDATIONS:

1. Any mechanical equipment, whether on rooftops or in service/loading areas, should be consolidated if possible and screened from view. *(Screening of mechanical equipment is required in Section 32.05.030)*
2. Screening should be at least as high as the equipment it is supposed to hide and should be of a color and material that matches or is compatible with the dominant colors and materials found on the building. Chain link fencing, with or without slats, is prohibited. *(Construction and appearance of required enclosures is regulated by Section 32.05.030.A.7)*
3. Loading, trash, and utility areas adjacent to a building should be designed as an integral component of the building. Outside storage of materials, equipment, or trucks should be kept to a minimum and in areas screened from view.
4. Sharing of loading, trash and utility areas among business is encouraged.
5. Parking and service areas should incorporate attractive materials to minimize the “hard” appearance of driveways and surface parking lots. Decorative paving should be used to delineate pedestrian crossings, parking aisles, and entrances within parking lots.
6. Parking and service areas, including alleys, should be well lit with glare on surrounding properties minimized. *(Additional guidance in 32.05.030.B)*
7. All parking and service areas should be designed to accommodate efficient snow removal and storage.
8. Parking and service areas should be located and designed to minimize interference with pedestrian circulation and sidewalk connections to surrounding neighborhoods. *(Additional guidance in 32.05.010.C.4)*
9. Parking areas should be buffered with landscaping, fencing, and or architectural elements to help contribute to an attractive streetscape. *(Landscaping requirements are located in Section 32.05.030.A.5 & 6)*

Section II: Building Design

Section 32.03.010.C.6.c.i.(B).(2)

Overview

New and reconstructed elevations within the Czech Bohemia Overlay District shall comply with the requirements of this section. Provisions may be waived for existing structures if necessary to preserve the historic character of the building.

A high quality of design is expected of all new construction within the district. Criteria may vary whether an elevation is facing a street frontage, interior portions of a property, or are placed close to a property line. The diagram and tables below shall be used to guide the application of Building Design requirements in the Czech Bohemia Overlay District.

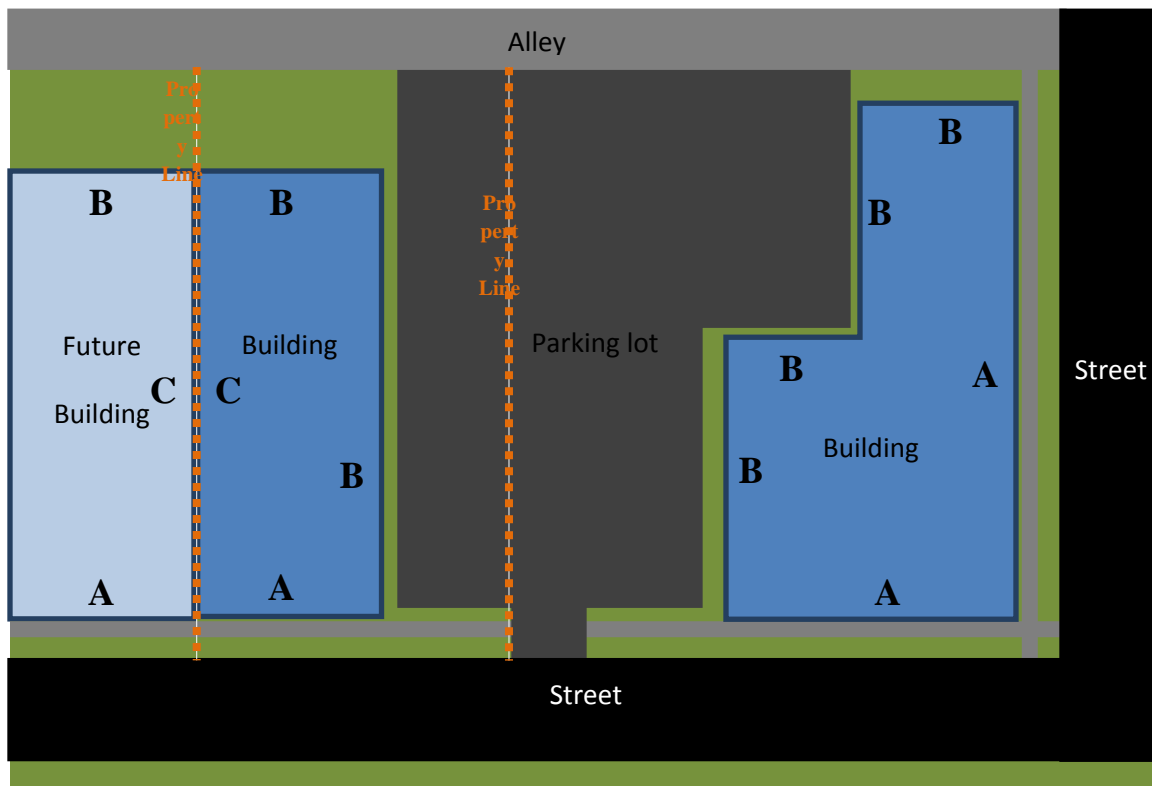


Diagram Reference	Location	Description
A	Street elevation	Elevations along street frontages.
B	Interior elevation	Elevations interior to the parcel which are visible to the street.
C	Lot line elevation	Elevations without a public entrance which are located within 7' of a rear or side yard parcel boundary which may be obscured by future construction.

Symbol	Description
●	All new or reconstructed elevations must comply with this requirement.
◇	All new or reconstructed elevations are encouraged to comply with this requirement.
×	This requirement is not applicable to the elevation.

CZECH BOHEMIA OVERLAY DISTRICT STANDARDS	Street Frontages	Interior	Lot line
<p>(a) Building design and architectural style create and enhance the character of the Czech Bohemia Overlay District for pedestrians and motorists. A range of architectural styles is preferred. However, all buildings should be designed with common elements:</p> <ul style="list-style-type: none"> ○ Open glass storefronts (where retail is provided) or public entrances (other non-residential development) ; ○ Clearly defined entrances to ground and upper floors (if applicable); ○ Sign bands and awnings incorporated into the design and scale of the buildings; ○ Upper floor windows. 	<p>●</p> <p>●</p> <p>●</p> <p>●</p>	<p>◇</p> <p>●</p> <p>●</p> <p>●</p>	<p>×</p> <p>×</p> <p>◇</p> <p>×</p>
<p>(b) Variations in rooflines are encouraged add interest to buildings and reduce the massive scale of large buildings. Buildings which are taller than adjacent structures by more than 1 story should consider the use of upper-floor setbacks, dormers or other architectural features to soften the transition between structures.</p> <p><i>Each site is unique and the use of transitional architectural elements may not be necessary in all cases. Developers are encouraged to consult with adjacent property owners as part of the project development.</i></p>	<p>●</p>	<p>◇</p>	<p>◇</p>
(c) The top edge of the building shall be defined by a cornice line or similar articulation.	<p>●</p>	<p>●</p>	<p>◇</p>
(d) Windows and doors shall be located, spaced and aligned on the building facade in a manner consistent with the established context of the block.	<p>●</p>	<p>◇</p>	<p>×</p>
(e) The sizes of windows and doors shall be consistent with the proportions of historic buildings in the District.	<p>●</p>	<p>◇</p>	<p>×</p>
(f) Highly reflective, opaque or darkly tinted glass shall not be used for windows or doors around public entrances.	<p>●</p>	<p>●</p>	<p>×</p>
(g) Rear building entrances and facades shall be designed in a manner consistent with the front and a side facade, especially when parking is behind buildings.	<p>×</p>	<p>●</p>	<p>◇</p>

CZECH BOHEMIA OVERLAY DISTRICT STANDARDS	Street Frontages	Interior	Lot line
(h) Entrances into commercial buildings should not be recessed more than five feet from the exterior building wall.	●	●	×
(i) Buildings shall primarily be constructed of high-quality materials such as brick, stone, split face block masonry, architectural paneling, and glass. Exterior finish insulation systems (EFIS), stucco and vinyl may be used on upper floors but use should be limited on the ground level. Concrete block, metal or plywood should not be used on building facades or on walls that are visible from streets, driveways, sidewalks or parking areas.	●	●	◇
(j) At a minimum 60% of the building elevation dedicated to non-residential uses should be windows, doors, and fenestration. <i>Residential elevations may have smaller window sections. To the extent possible street-facing facades should meet this requirement. Windowless walls necessary due to the function of the building should be placed along interior elevations</i>	●	◇	×

DESIGN RECOMMENDATIONS:

1. Interesting architectural details and features are preferred to provide layers of interest and variety for pedestrians and motorists.
2. Whenever possible, adjacent buildings should have component parts in good proportion with one another. Similar design linkages include placing window lines, belt courses, and other horizontal elements in a pattern that is harmonious and reflects the same elements on neighboring buildings.
3. Solid windowless walls are discouraged unless necessary to the function of the building. These should be avoided along building elevations which face the right-of-way or interior elevations which are visible from the right-of-way. In such a case, a solid, windowless wall should incorporate material and color variations, arches, piers, columns, murals, high quality graphics, landscaping and other elements that reduce building scale and add visual interest.
4. Building entrances should be designed so that doorways and vestibules are easily seen by shoppers and visitors, easily distinguished by tenant and use, and open and visible from the sidewalk. Entrances should provide a sense of welcoming hospitality.
5. Architectural design should articulate and enhance buildings, especially those at street corners because of their prominence and visibility.
6. Buildings that attempt to use the building itself as “advertising” are discouraged, particularly where the proposed architecture is a corporate or franchise style.
7. Building projections, such as awnings, window bays, and terraces should be pedestrian scale, proportional to the building façade, and proportional to adjacent structures.
8. Building entrances should be visible from the street, well-lit, and easily accessible. Architectural elements, canopies, and/or lighting are preferred to identify entrances, not screen them. If

vehicular canopies are provided, provide adequate lighting – either natural or artificial – to avoid dark or unsafe conditions.

9. Main commercial building entrances should be emphasized with larger door/window combinations, overhangs, slight recesses, unique roof forms, arches, accent colors, or architectural details.
10. Building-mounted lighting should be carefully integrated into the design of the building and streetscape.
11. The number of materials on an exterior building face should not exceed five to prevent visual clutter.
12. When possible, salvageable historic materials should be retained and reincorporated into existing buildings.

Section III: Site Furnishings and Landcaping

Section 32.03.010.C.6.c.iv.(B).(3)

CZECH BOHEMIA OVERLAY DISTRICT STANDARDS
(a) Visual continuity within the district is important. Site furnishings and other amenities significantly contribute to the overall image of the district. Site furnishings should be made of quality materials and complement the character of the District. These elements include approved benches, waste receptacles, planters, railings, bollards, bike racks, and tree grates. <i>As streetscape projects occur within the Czech Bohemia Overlay District a standardized style of street furnishing may be developed. At this time there are no approved, or preferred bench styles within the district. Projects adjacent to recent streetscape projects are encouraged to mimic the style and type of on-street furnishings with any furnishing provided on-site.</i>
(b) Site furnishings are encouraged to be provided in pedestrian spaces such as building entrances, along walkways and in pedestrian plazas and seating areas.
(c) Fencing shall be constructed of compatible materials that complement adjacent structures. The use of chain link fencing is not permitted within the Overlay District.

DESIGN RECOMMENDATIONS:

1. Visual continuity within the district is important. Site furnishings and other amenities significantly contribute to the overall image of any district.
2. Benches should be provided near drop-off areas and entryways to major buildings, at key locations along pedestrian ways, and at bus stops and plazas.
3. Bike racks should be provided at public plaza spaces and major building entryways. *(Bicycle Parking is heavily encouraged and reduces the minimum parking requirement in Section 32.05.020)*
4. Planters should be provided in plaza areas, building entry areas, and other paved open spaces to provide green space and sense of scale to pedestrian spaces.
5. Waste and recycling receptacles should be provided at building entry ways, public plazas, bus stops, and near benches.
6. Tree grates should be provided in paved plazas and pedestrian ways to protect tree roots from compaction.
7. Plants installed to satisfy the requirements of this section should meet or exceed the standards of the most recent edition of the American Standard for Nursery Stock, published by the American Association of Nurserymen. Plants should be capable of withstanding the extremes of individual microclimates, be nursery-grown, and be balled and burlapped (when applicable).
8. Landscape treatment should be provided to enhance architectural features, strengthen vistas, and provide shade.
9. Plant materials should be selected for structure, texture, color and for ultimate growth potential. Plants that are indigenous to the area and that will be hardy, harmonious to the design, and attractive (including seasonal interest) should be used.
10. In locations where plants will be susceptible to injury by pedestrian or vehicular traffic, they should be protected by appropriate curbs, tree guards or other devices.

11. Trees should be installed consistently along all sidewalks and pedestrian paths in parks/plazas. *(Street Trees are required every 40 feet by Section 32.05.030.A.4.b and are encouraged for internal paths and drives)*
12. New plantings and color pockets should be added along the street where space allows. Raised beds, moveable planters, flower boxes, and hanging baskets are favored and provide seasonal interest, enhance the pedestrian experience, and reinforce area character.
13. Along wider sidewalks, raised landscape planters may be used to break up large paved areas, add visual interest to the street, and separate pedestrians from traffic.
14. All parking lots should be designed with perimeter and island landscaping. Such planting areas should be sufficient in size to provide visual breaks in parking areas and to allow for plant materials to grow. Sidewalks provided in parking lots to direct pedestrians to commercial frontages and storefronts should also include edge landscaping.
15. Plant materials in islands, excluding shade trees, should not exceed a height of 36" at maturity.
16. Vacant lots should be maintained with sod and low-level plantings until developed with new buildings.
17. In areas where general planting will not prosper, other materials, such as fences, walls and pavers should be used. Carefully selected plants should be combined with such materials where possible.
18. Where a building does not form the street edge, landscaping should be used to delineate that separation.
19. All required landscaping areas not dedicated to trees, shrubs, or preservation of existing vegetation should be landscaped with grass, ground cover, or other landscape treatment, not including sand, rock or pavement.
20. For each plant type associated with the landscaping requirements of this section, no single plant species should represent more than 40% of the total plantings. *(Contact the City Arborist for approved species list for street trees and requirements)*
21. Plant material should be installed so it relates to the natural environment and habitat in which it is placed.
22. The scale and nature of landscape material should be appropriate to the site and structures. For example, large-scale buildings should be complemented by large-scale plant material. Plant material should be selected based on its form, texture, color and concern for its ultimate growth.

Section IV: Signage

Section 32.03.010.C.6.c.iv.(B).(4)

CZECH BOHEMIA OVERLAY DISTRICT STANDARDS
(a) New signage shall respect the size, scale, and design of the building to which it is attached, and the buildings of the surrounding District. New signage shall not obscure significant architectural details of a historic structure.
(b) All freestanding signs shall be low in height and placed within planting areas that are coordinated with the overall design of the site. Small directional signs under 6 square feet are not required to be in planting areas.
(c) Public art, sculpture, murals, etc. are encouraged in the Czech Bohemia Overlay District.
(d) Acceptable forms of signage include signs integrated into or affixed flat against a building facade, wall signs, projecting signs and monument signs. Other types of signage, including pole signs, may be considered if compatible with the unique character of the District.

DESIGN RECOMMENDATIONS:

1. Signs should be constructed of high-quality, solid, and durable materials.
2. Sign colors and materials should be consistent with the colors and materials of the associated building.
3. Sign lighting should be carefully considered in the building design. Back-lit panel signs are discouraged. Back-lit lettered signs are appropriate. If direct lighting is used, glare, brightness, visible hardware, and maintenance issues must be addressed. Strategically placed lamp fixtures that are compatible with the sign design and building architecture should be used for illuminated signs.
4. All signs placed on a site should be designed as part of a coordinated signage theme.
5. Text on signs should be simple and easy to read.
6. To avoid visual clutter, redundant signage or multiple external signs should not be used.



Council Agenda Item Cover Sheet

Submitting Department: Public Works Department

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Phone Number/Extension: 5141

Alternate Contact Person: Dave Wallace, PE
E-mail Address: d.wallace@cedar-rapids.org

Phone Number/Extension: 5814

Description of Agenda Item: CONSENT AGENDA

Preliminary resolution for the construction of sidewalk improvements and the removal and replacement of bituminous fiber (Orangeburg) sanitary sewer services for the 29th Street Drive SE from 1st Avenue to Tama Street Roadway Improvements project (**Paving for Progress**).
 CIP/DID #3012126-00

EnvisionCR Element/Goal: ConnectCR Goal 4: Improve the function and appearance of our key corridors.

Background: This project includes the rehabilitation of 29th Street Drive SE from 1st Avenue to Tama Street. The work includes milling and resurfacing, installation of sidewalk, sidewalk ramp upgrades, water main replacement, sanitary sewer improvements and storm water improvements.

New sidewalk will be constructed along the north side of 29th Street Drive SE from 1st Avenue to just east of Indian Creek to fill gaps within the existing sidewalk system.

In the winter of 2015/2016, the City notified property owners and televised sanitary sewer services within the project boundary. If bituminous fiber pipe was located within the City's right-of-way, the City contacted the property owner informing them to remove and replace these services or be assessed for the repairs. Given the failure rate of bituminous fiber pipe, the sanitary service replacements should be made in order to protect the City's investment in the overlying roadway.

The proposed resolution before City Council is the initial resolution in a series of resolutions (as shown on attached flow chart), which will lead to an assessment public hearing on this project. This resolution indicates there is benefit in the City's intention to do some special assessment. Future resolutions, should the Council proceed with the process, will include property values and specific proposed assessments. The total estimated project cost is approximately \$2,000,000.

Action/Recommendation: Public Works Department recommends adoption of the preliminary resolution for the construction of sidewalk improvements and removal and replacement of sanitary sewer services in the City of Cedar Rapids, Iowa for the 29th Street Drive SE from 1st Avenue to Tama Street Roadway Improvements project.

Alternative Recommendation: If the resolution is not adopted, the assessment will not proceed. The project will have to be funded by General Obligation Bond funding or be abandoned.

Time Sensitivity: High

Resolution Date: February 9, 2016

Budget Information: 301/301000/3012126 SLOST

Local Preference Policy: NA

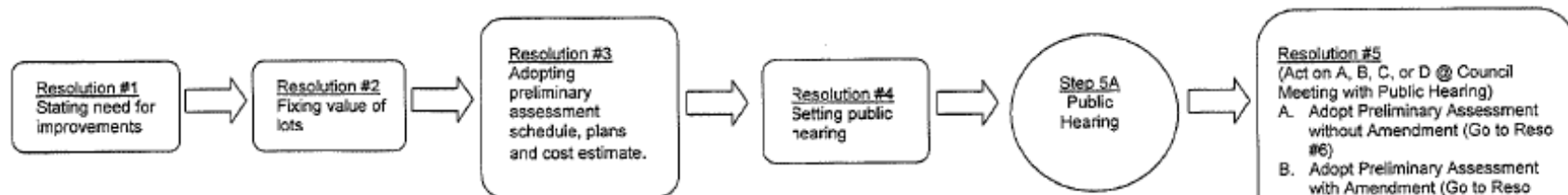
Explanation: NA

Recommended by Council Committee: Yes

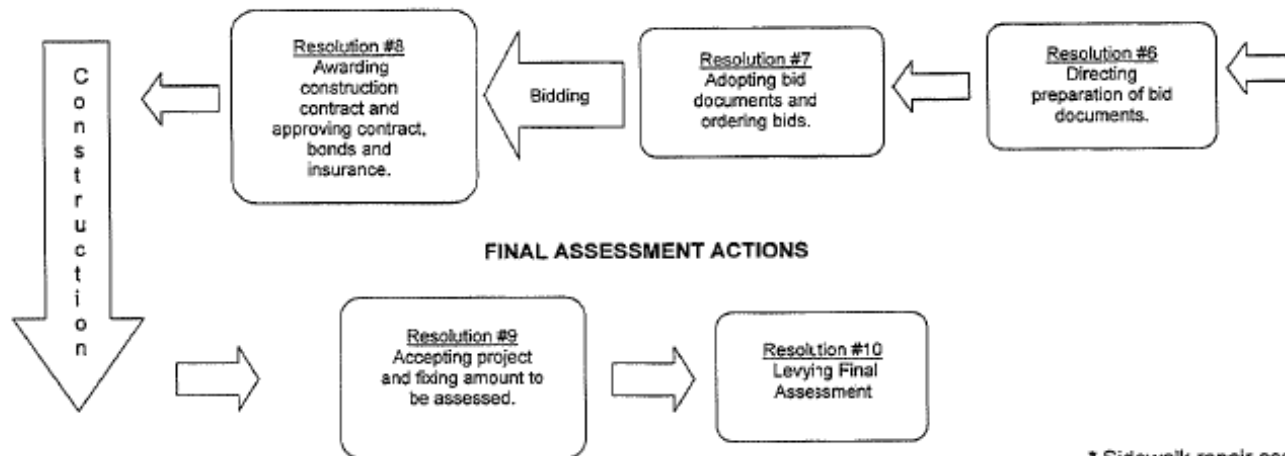
Explanation: NA

FLOWCHART FOR CITY COUNCIL ACTIONS IN SPECIAL ASSESSMENT PROCESS* SUMMARY

PRELIMINARY ASSESSMENT ACTIONS



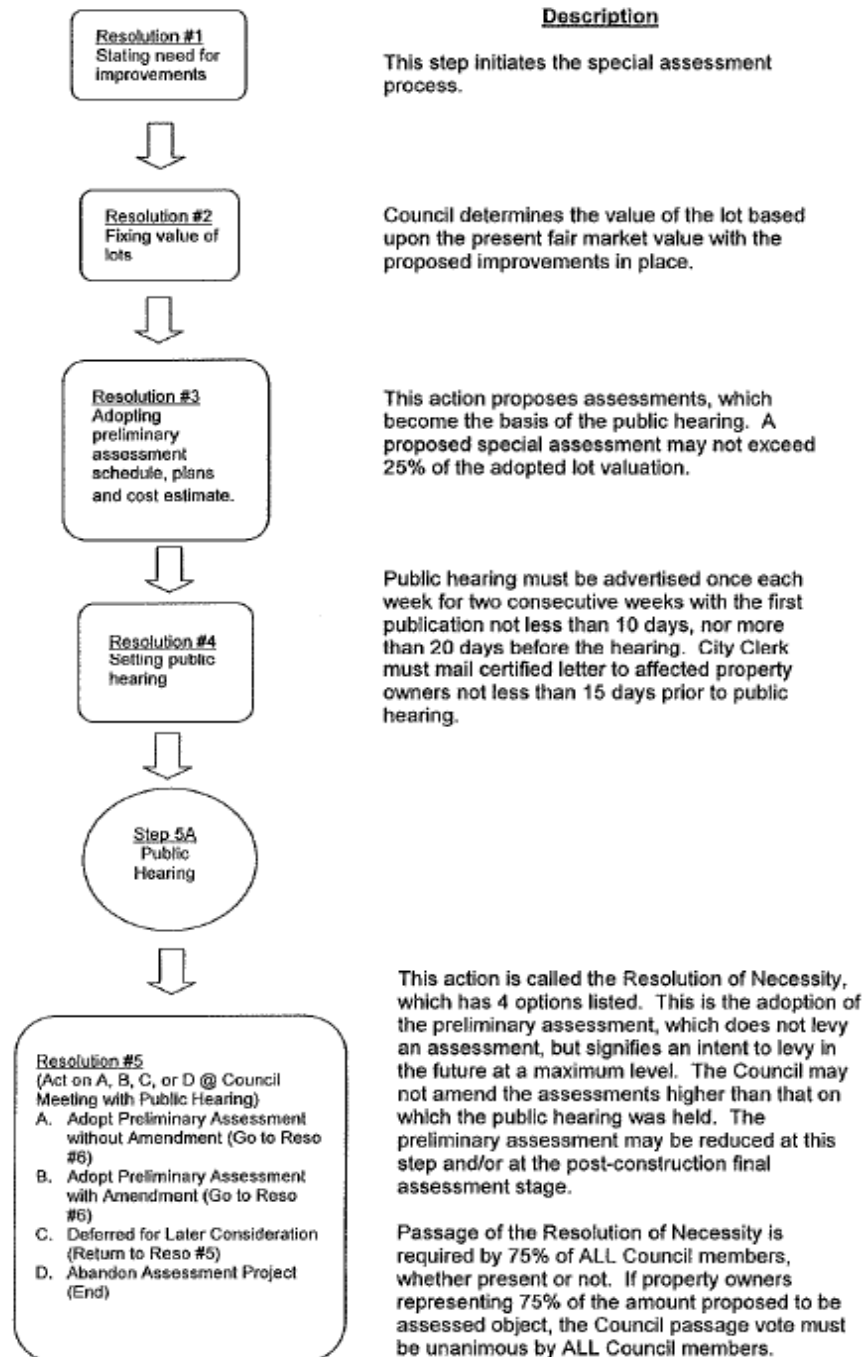
NORMAL DESIGN, BIDDING, AND CONSTRUCTION ACTIONS



FINAL ASSESSMENT ACTIONS

* Sidewalk repair assessments may skip Resolution #4, Step 5A, Resolution #5, and Resolution #6.

CITY COUNCIL ACTIONS IN SPECIAL ASSESSMENT PROCESS PRELIMINARY ASSESSMENT



RESOLUTION NO. LEG_NUM_TAG

PRELIMINARY RESOLUTION FOR THE CONSTRUCTION
OF SIDEWALK AND SANITARY SEWER SERVICE IMPROVEMENTS
IN THE CITY OF CEDAR RAPIDS, IOWA

WHEREAS, this Council, after a study of the requirements, is of the opinion that it is necessary and desirable that Portland Cement Concrete sidewalk be constructed within Cedar Rapids, Iowa, as hereinafter described, and

WHEREAS, this Council, after a study of the requirements, is of the opinion that it is necessary and desirable that existing bituminous fiber (Orangeburg) sanitary sewer services (located beneath roadways proposed to receive rehabilitation) be removed and replaced within Cedar Rapids, Iowa, as hereinafter described, and

WHEREAS, it is proposed that said project be constructed as a single improvement under the authority granted by Division IV of Chapter 384 of the State Code of Iowa,

NOW THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA that Cedar Rapids, Iowa, construct Portland Cement Concrete sidewalk and remove and replace bituminous fiber (Orangeburg) sanitary sewer services as hereinafter described, and

BE IT FURTHER RESOLVED that the beginning and terminal points of said improvements shall be as follows:

29th Street Drive SE from 1st Avenue to Tama Street

,and

BE IT FURTHER RESOLVED that Nathan G. Kampman, P.E. of the Public Works Department, Cedar Rapids, Iowa, having authorized a professional engineering firm to prepare estimates, plans and specifications and Fehr Graham to prepare plats and schedules and otherwise to act in said capacity with respect to said project is hereby ordered to prepare and file with the Clerk preliminary plans and specifications and estimates of the total cost of the work and the plat and schedule of special assessments against benefited properties, and

BE IT FURTHER RESOLVED that this Council hereby determines that all property within the area hereinafter described will be specially benefited by said improvements, to-wit:

Sidewalk Improvements

14113-81006-00000 MC GREW'S 1 ST CR Block:1 Lot:6 PT MC GREW'S 1 ST CR Block:1 Lot:7 PT MC GREW'S 1 ST CR Block:1 Lot:8	14113-80013-00000 MC GREW'S 1 ST E 53' LOT 2 BLK 2
14113-80014-00000 MC GREW'S 1 ST LO4 BLK 2 EXCEPT E 50'	14113-80015-00000 MC GREW'S 1 ST E 50' LOT 2 BLK 2

14113-80019-00000 MC GREW'S 1 ST LOTS 6, 8,& 10 BLK 2 EXCEPT AS DESC IN V6568/P462	14113-80018-00000 LANDS (LESS SPEAR) & (LESS BRODERICK) THAT PT OF THE S 1/2 E OF CREEK & S OF AP 148 SEC 11 TWP 83 R 7
14114-57008-01001 PART OF SW-SE SEC 11-83-7	

Sanitary Sewer Service Improvements

14142-01007-00000 A.P. #235 LOT 6	14114-79008-00000 KENWOOD HEIGHTS LOTS 114 &115 & VAC ST E OF & ADJ THERETO
14114-55001-00000 PT E1/2 SW1/4 SE1/4 SEC 11-83-07	14114-52004-00000 KENWOOD HEIGHTS Lot:75 E 81' W 366' MEAS ON S LN LOT 75 & SE & SW 7.5' VAC ALLEY N'LY OF & ADJ THERETO
14114-53006-00000 SMILEYS 1 CR Lot:2	14114-53005-00000 SMILEYS 1 CR Lot:1
14114-78005-00000 KENWOOD HEIGHTS LOTS 159, 160, 161, & 162	14142-01008-00000 A.P. #235 LOT 7
14142-01005-00000 A.P. #235 W1/2 LOT 3 & LOT 4	14142-01004-00000 A.P. #235 W30' LOT 1 & LOT 2 & E1/2 LOT 3

, and

BE IT FURTHER RESOLVED that said improvement shall be designated as "29th Street Drive SE from 1st Avenue to Tama Street Roadway Improvements", and such name shall be sufficient designation to refer to said improvement in all subsequent proceedings.

PASSED_DAY_TAG

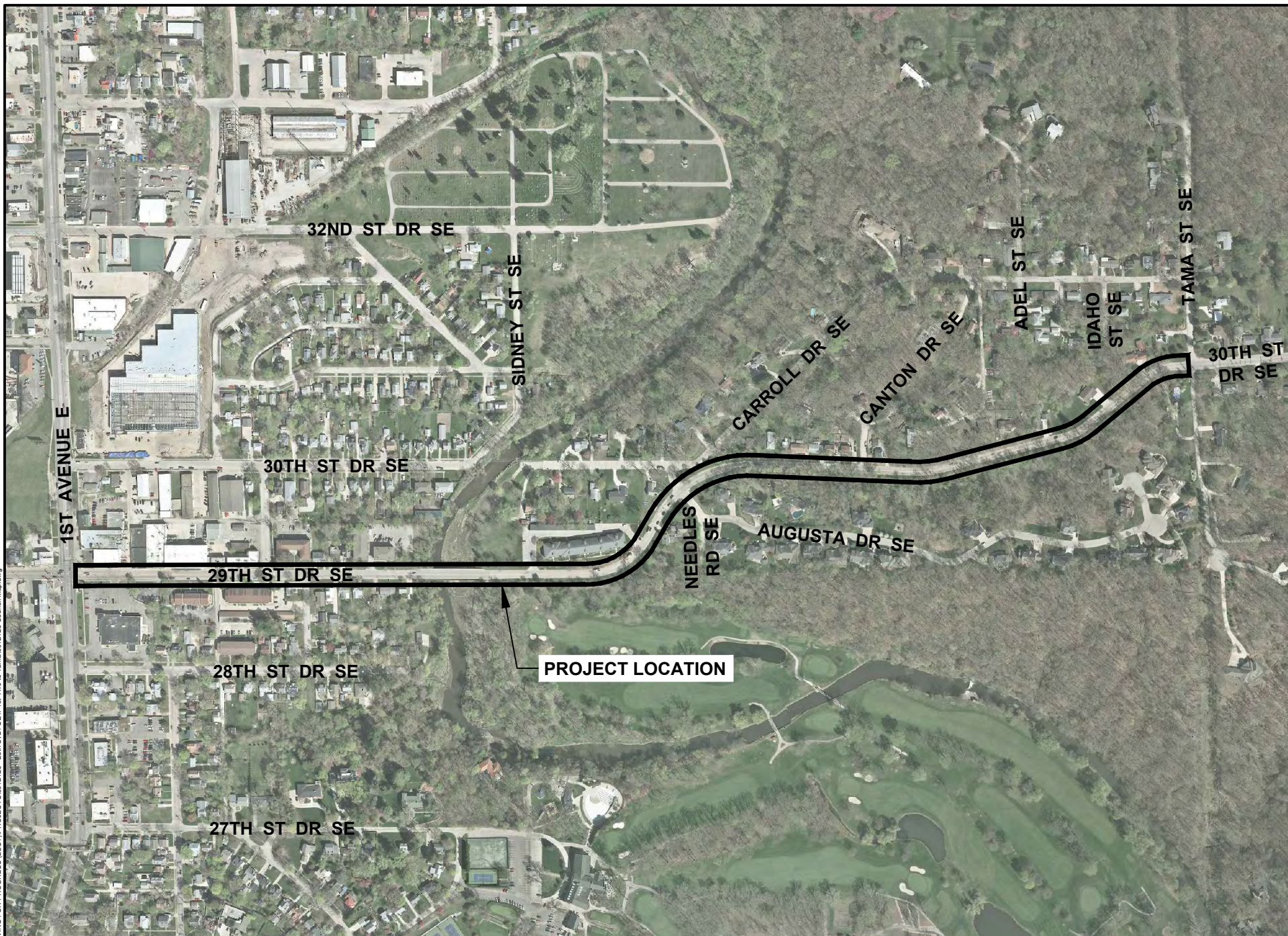
LEG_PASSED_FAILED_TAG

MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG





Council Agenda Item Cover Sheet

Submitting Department: Public Works Department

Presenter at meeting: Gary Petersen, PE
E-mail Address: g.petersen@cedar-rapids.org

Phone Number/Extension: 5153

Alternate Contact Person: Nate Kampman, PE
E-mail Address: n.kampman@cedar-rapids.org

Phone Number/Extension: 5628

Description of Agenda Item: CONSENT AGENDA

Resolution accepting work and fixing amount to be assessed for the Edgewood Road SW and Edgewood Parkway SW Traffic Signal Improvements project.
 CIP/DID #306163-00

EnvisionCR Element/Goal: CONNECTCR Goal 3: Establish a network of complete streets

Background: Construction has been substantially completed by Trey Electric Corporation for the subject project. This is a previously approved Capital Improvements Project (CIP No. 306163-03) with a final construction amount of \$232,660.25. Final amount proposed to be assessed to the benefited properties is \$202,900. The preliminary assessment amount of \$360,360 was approved by City Council on November 18, 2014. The Public Works Department has inspected the completed work and determined the work to be in substantial conformance with the contract requirements.

Action/Recommendation: The Public Works Department recommends adoption of the resolution to accept the work and fix the amount to be assessed,

Alternative Recommendation: Revise the current traffic signal assesement practice of 25% per quadarant to something with a higher city contribution, and in turn lower the assessments. Edgewood Parkway SW is a private entrance and the adjoining properties have Traffic Signal Petition and Assesement Agreements, or Development Agreements recorded for the properties within this Special Assessmet District. The FY16 budget does not include additional funds for contributions, so a funding source would have to be identiified if the Council wants to pursue.

Time Sensitivity: Must be acted on by February 9, 2016, due to assessment schedule per State code timeline.

Resolution Date: February 9, 2016

Budget Information: CIP No. 306163

Local Preference Policy: NA

Explanation: NA

Recommended by Council Committee: NA

Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

RESOLUTION ACCEPTING WORK AND FIXING AMOUNT TO BE ASSESSED

WHEREAS, on February 24, 2015, the City of Cedar Rapids, Iowa, entered into contract with Trey Electric Corporation of Marion, Iowa, for the construction of the Edgewood Road SW and Edgewood Parkway SW Traffic Signal Improvements within the City, as therein described; and

WHEREAS, said contractor has substantially completed the construction of said improvements, known as the Edgewood Road SW and Edgewood Parkway SW Traffic Signal Improvements in accordance with the terms and conditions of said contract and plans and specifications, as shown by the certificate of the Engineer filed with the Clerk on February 2, 2016:

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA:

Section 1. That said report of the Engineer be and the same is hereby approved and adopted and said improvements are hereby accepted as having been substantially completed in accordance with the said plans, specifications and contract. The total construction contract cost of the improvements payable under said contract is hereby determined to be \$232,660.25.

Section 2. The total cost of improvements including construction, engineering, legal and administrative costs are determined to be \$352,848.94.

BE IT FURTHER RESOLVED, that the Engineer is hereby instructed to prepare a final plat and schedule showing the separate lots or parcels of ground subject to assessment for the cost of the traffic signal improvements together with the names of the owners thereof, so far as practicable, and the amount assessable by law against each lot or parcel of ground so assessable, and against any railway or street railway legally assessable therefore, and \$202,900 of the whole amount of the cost of said improvements shall be assessed against the benefited properties, but not in excess of the amounts so assessed in the preliminary plat and schedule for the improvement, and filed in the office of the Clerk.

PASSED_DAY_TAG

LEG_PASSED_FAILED_TAG

MayorSignature

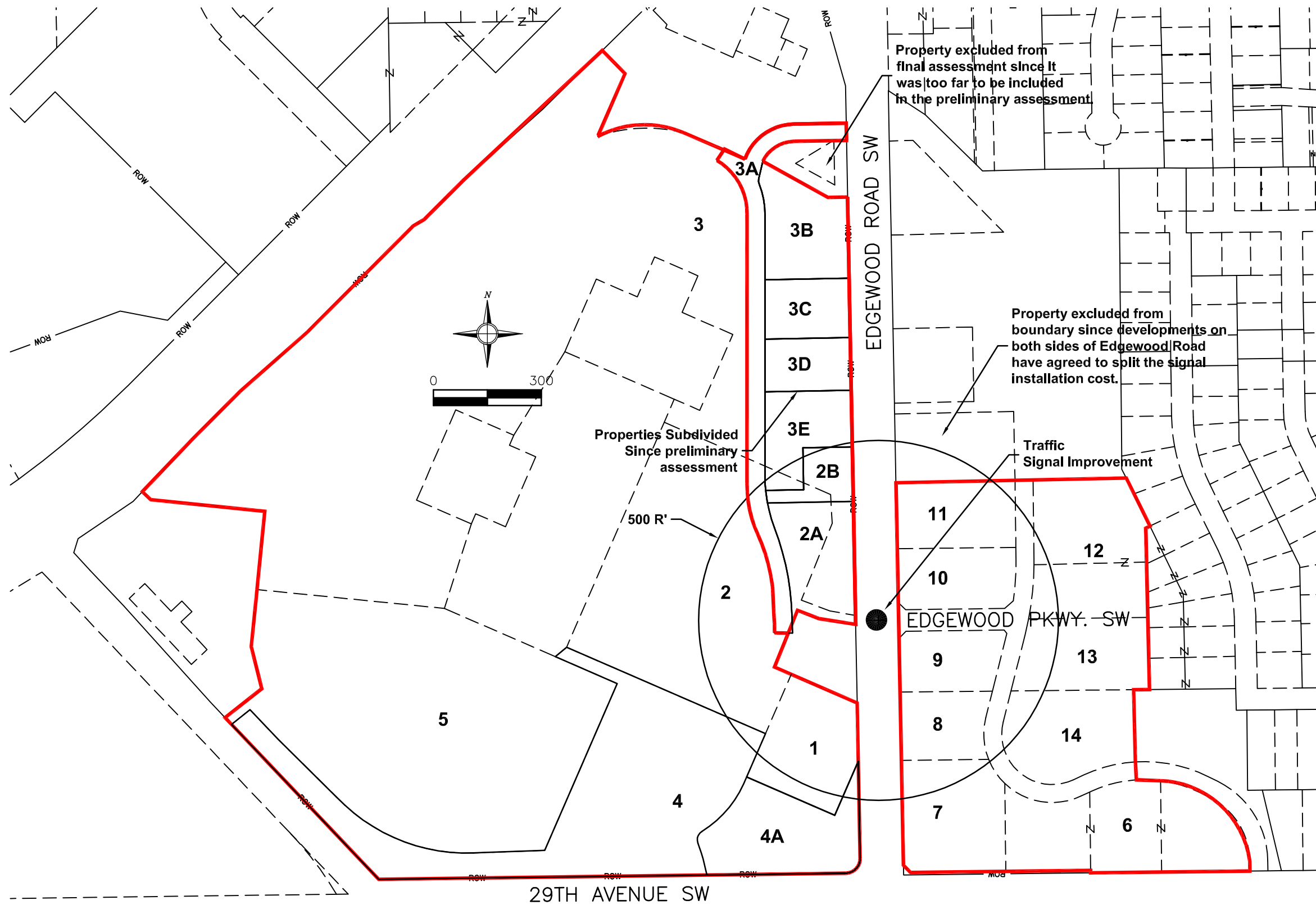
Attest:

ClerkSignature

LEG_TABLED_TAG

T:\ACAD\214057\DWG\Assessment Reassignment.dwg 1-27-16 10:45:03 AM

**FINAL ASSESSMENT PLAT
EDGEWOOD ROAD SW AND
EDGEWOOD PARKWAY SW
TRAFFIC SIGNAL IMPROVEMENTS
CIP 306163**

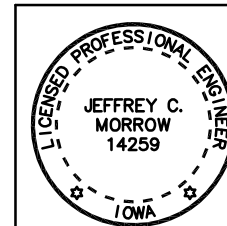


LEGEND

SIGNAL ASSESSMENT BOUNDARY

PARCEL NUMBER

4



I hereby certify that this Engineering document was prepared by me or under my direct personal supervision and that I am a duly Licensed Engineer under the laws of the State of Iowa.

Jeffrey C. Morrow Iowa Reg No. 14259

My License renewal date is December 31, 2017

Pages covered by this seal: ALL



Council Agenda Item Cover Sheet

Submitting Department: Public Works Department

Presenter at meeting: Doug Wilson, PE
E-mail Address: d.wilson@cedar-rapids.org

Phone Number/Extension: 5141

Alternate Contact Person: Glenn Vosatka, PE
E-mail Address: g.vosatka@cedar-rapids.org

Phone Number/Extension: 5821

Description of Agenda Item: CONSENT AGENDA

Resolution adopting and levying final schedule of assessments and providing for the payment thereof for the FY 2015 Curb Repair Project – Contract 2 project.
 CIP/DID #301998-00

EnvisionCR Element/Goal: StrengthenCR Goal 2: Improve the quality and identity of neighborhoods and key corridors.

Background: Construction has been completed by Ti-Zack Concrete, Inc. for the subject project. This is a previously approved Capital Improvements Project (CIP No. 301998-07) with a total cost of completed work to date of \$538,900. Amount proposed to be assessed to 2 benefiting properties is \$5,720. The Public Works Department has inspected the completed work and determined the work to be in substantial conformance with the contract requirements. In conformance with the provisions of the Iowa Code for special assessment (Chapter 384) proposes a resolution to levy the final assessment.

Action/Recommendation: The Public Works Department recommends adoption of the resolution.

Alternative Recommendation: If the resolution to adopt and levy is not adopted the assessments will not be enforceable.

Time Sensitivity: Must be acted on by February 9, 2016 due to assessment schedule per State code timeline.

Resolution Date: February 9, 2016

Budget Information: Dept ID 301000, Project 301998, SLOST

Local Preference Policy: NA
Explanation: NA

Recommended by Council Committee: NA
Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

RESOLUTION ADOPTING AND LEVYING FINAL SCHEDULE OF ASSESSMENTS,
AND PROVIDING FOR THE PAYMENT THEREOF

BE IT RESOLVED BY THE COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA:

That after full consideration of the final schedule of assessments and accompanying plat showing the assessments proposed to be made for the construction of the FY 2015 Curb Repair Project – Contract 2, within the City, under contract with Ti-Zack Concrete, Inc. of LeCenter, MN, which final plat and schedule was filed in the office of the Clerk on the 3rd day of February, 2016 said assessments are hereby corrected by making the following changes and reductions:

NAME OF PROPERTY OWNER AND DESCRIPTION OF PROPERTY	PROPOSED FINAL CONDITIONAL DEFICIENCY, IF ANY	PROPOSED FINAL CONDITIONAL DEFICIENCY, IF ANY	CORRECTED FINAL CONDITIONAL DEFICIENCY, IF ANY	CORRECTED FINAL CONDITIONAL DEFICIENCY, IF ANY
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None

BE IT FURTHER RESOLVED, that the said schedule of assessments and accompanying plat, be and the same are hereby approved and adopted; and that there be, and is hereby assessed and levied, as a special tax against and upon each of the lots, parts of lots and parcels of land, and the owner or owners thereof liable to assessment for the cost of said improvements, the respective sums expressed in figures set opposite to each of the same on account of the cost of the construction of the said improvements. Provided, further, that the amounts shown in said final schedule of assessments as deficiencies are found to be proper and are levied conditionally against the respective properties benefited by the improvements as shown in the schedule, subject to the provisions of Section 384.63, Code of Iowa. Said assessments against said lots and parcels of land are hereby declared to be in proportion to the special benefits conferred upon said property by said improvements, and not in excess thereof, and not in excess of 25% of the value of the same.

BE IT FURTHER RESOLVED, that said assessments of an amount subject to the provisions of Section 384.60, Code of Iowa, shall be payable in ten (10) equal annual installments and shall bear interest at the rate of 9 percent per annum, the maximum rate permitted by law, from the date of the acceptance of the improvements; the first installment of each assessment, or total amount thereof, if it be less than the amount subject to the provisions of Section 384.60 Code of Iowa, with interest on the whole assessment from date of acceptance of the work by the Council, shall become due and payable on July 1, 2016; succeeding annual installments, with interest on the whole unpaid amount, shall respectively become due on July 1st annually thereafter, and shall be paid at the same time and in the same manner as the September semiannual payment of ordinary taxes. Said assessments shall be payable at the office of the City Treasurer, in full or in part and without interest within thirty days after the date of the first publication of the notice of the filing of the final plat and schedule of assessments to the County Treasurer of Linn County, Iowa.

BE IT FURTHER RESOLVED, that the Clerk be and is hereby directed to certify said final plat and schedule to the County Treasurer of Linn County, Iowa, and to publish notice of said certification once each week for two consecutive weeks in the Cedar Rapids Gazette, a newspaper printed wholly in the English language, published in Cedar Rapids, Iowa, the first publication of said notice to be made within fifteen days from the date of the filing of said schedule with the County Treasurer, the Clerk shall also send by ordinary mail to all property owners whose property is subject assessment a copy of said notice, said mailing to be on or before the date of the second publication of the notice, all as provided and directed by Code Section 384.60, Code of Iowa.

BE IT FURTHER RESOLVED, that the Clerk is directed to certify the deficiencies for lots specially benefited by the improvements, as shown in the final schedule of assessments, to the County Treasurer for recording in the Special Assessment Deficiencies Book and to the city official charged with responsibility for the issuance of building permits. Said deficiencies are conditionally assessed to the respective properties under Code Section 384.63 for the amortization period specified by law.

The Clerk is authorized and directed to ascertain the amount of assessments remaining unpaid after the thirty day period against which improvement bonds may be issued and to proceed on behalf of the City with the sale of said bonds, to select a date for the sale thereof, to cause to be prepared such notice and sale information as may appear appropriate, to publish and distribute the same on behalf of the City and this Council and otherwise to take all action necessary to permit the sale of said bonds on a basis favorable to the City and acceptable to the Council.

PASSED_DAY_TAG

LEG_PASSED_FAILED_TAG

MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG

Published in the Cedar Rapids Gazette 2/13/16 & 2/20/16
(Two publications required)

NOTICE OF FILING OF THE FINAL PLAT AND SCHEDULE
OF ASSESSMENTS AGAINST BENEFITED PROPERTIES FOR
THE CONSTRUCTION OF THE FY 2015 CURB REPAIR PROJECT – CONTRACT 2
(CIP NO. 301998-00)
WITHIN THE CITY OF CEDAR RAPIDS, IOWA

TO THE PERSONS OWNING LAND LOCATED WITHIN THE DISTRICT DESCRIBED AS THE
FY 2015 CURB REPAIR PROJECT – CONTRACT 2 WITHIN THE CITY OF CEDAR RAPIDS,
IOWA:

Consisting of the properties which are described as follows:

142332801700000
Vernon Heights 3rd Addition, Lot 12, Block 9

142332801600000
Vernon Heights 3rd Addition, Lot 11, Block 9

The extent of the work completed on the FY 2015 Curb Repair Project – Contract 2 is as follows:

Curb installation and related construction activities.

You are hereby notified that the final plat and schedule of assessments against benefited properties within the District described as the FY 2015 Curb Repair Project – Contract 2, for the construction of curb improvements, has been adopted and levied by the Council of Cedar Rapids, Iowa, and that said plat and schedule of assessments has been certified to the County Treasurer of Linn County, Iowa. Assessments of \$500 or more are payable in ten (10) equal annual installments, with interest on the unpaid balance, all as provided in Section 384.65, City Code of Iowa. Conditional deficiency assessment, if any, may be levied against the applicable property for the same period of years as the assessments are made payable.

You are further notified that assessments may be paid in full or in part without interest at the office of the City Treasurer at any time within thirty days after the date of the first publication of this notice of the filing of the final plat and schedule of assessments with the County Treasurer. Unless said assessments are paid in full within said thirty day period, all unpaid assessments will draw annual interest computed at 9 percent (commencing on the date of acceptance of the work) computed to the next December 1st following the due dates of the respective installments. Each installment will be delinquent on September 30th following its due date on July 1st in each year. Property owners may elect to pay any annual installment semiannually in advance.

All properties located within the boundaries of the FY 2015 Curb Repair Project – Contract 2, above described have been assessed for the cost of the making of said improvements, the amount of each assessment, and the amount of any conditional deficiency assessment having been set out

in the schedule of assessments and plat accompanying the same, which are now on file in the office of the County Treasurer of Linn County, Iowa. For further information you are referred to said plat and schedule of assessments.

This Notice given by direction of the Council of the City of Cedar Rapids, Iowa, as prescribed by Code Section 384.60 of the City Code of Iowa.

Clerk of the City of Cedar Rapids, Iowa

CERTIFICATE OF LEVY OF SPECIAL ASSESSMENTS
TO BE MADE BY THE CLERK OF CEDAR RAPIDS, IOWA,
AND FILED WITH THE COUNTY TREASURER OF LINN COUNTY,
IOWA AND THE CITY OFFICER CHARGED WITH ISSUANCE OF
BUILDING PERMITS

STATE OF IOWA

COUNTY OF LINN

I, _____, Clerk of the City of Cedar Rapids, County of Linn, State of Iowa, do hereby certify that at a meeting of the Council of Cedar Rapids, Iowa, held on the 9th day of February, 2016, the said Council did levy special assessments for and on account of the cost of construction of the FY 2015 Curb Repair Project – Contract 2, under contract with Ti-Zack Concrete, Inc. of LeCenter, Minnesota, on the following or portions thereof, in said Municipality, to-wit:

142332801700000
Vernon Heights 3rd Addition, Lot 12, Block 9

142332801600000
Vernon Heights 3rd Addition, Lot 11, Block 9

That the district benefited and assessed for this cost of the improvement is described as follows:

405 and 409 22nd Street SE

I further certify that the said assessments of \$500 or more are payable in ten (10) equal annual installments, together with interest thereon at the rate of 9 percent per annum computed to December 1st following the due date of each installment. Interest commences on January 26, 2016, the date of acceptance of the work. The first annual installment, or the full amount of assessments less than \$500.00, are due and payable on July 1st following the date of levy of these assessments as set forth above (unless this certification is made within less than thirty days prior to July 1st) and is subject to the provisions of Section 384.65, City Code of Iowa, with respect to lien, delinquent dates, interest, penalties and years of payment.

Special assessment deficiencies as set forth in the Schedule of Assessments are conditionally levied and are certified pursuant to Code Section 384.63. The period for amortization of special assessment deficiencies established by law and by action of the City Council is ten (10) years.

Assessments may be paid in full or in part at the office of the City Treasurer, within thirty days of the first publication of the notice of this filing of the final assessment schedule.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal on the 9th day of February, 2016.

City Clerk

I hereby certify that on the ____ day of _____, 20____, there was filed with me as County Treasurer of Linn County, State of Iowa, an executed copy of the certificate of the City Clerk of Cedar Rapids, Iowa, hereinabove set out, relating to the levy of special assessments, covering the recently completed street improvements in said Municipality, and a copy of the final plat and schedule of assessments and conditional deficiency assessments, referred to in the resolution levying said assessments, heretofore adopted by the City Council on February 9, 2016.

County Treasurer

I hereby certify that on the ____ day of _____, 20____, there was filed with me as Building Permit Official of the City of Cedar Rapids, Iowa, an executed copy of the certificate of the City Clerk of Cedar Rapids, Iowa, hereinabove set out, relating to the levy of special assessments, covering the recently completed street improvements in said Municipality, and a copy of the final plat and schedule of assessments and conditional deficiency assessments, referred to in the resolution levying said assessments, heretofore adopted by the City Council on February 9, 2016.

Building Permit Official of the City of Cedar
Rapids, Iowa



Council Agenda Item Cover Sheet

Submitting Department: Public Works Department

Presenter at meeting: Rita Rasmussen
E-mail Address: r.rasmussen@cedar-rapids.org

Phone Number/Extension: 5807

Alternate Contact Person: David Wallace
E-mail Address: d.wallace@cedar-rapids.org

Phone Number/Extension: 5814

Description of Agenda Item: Purchases, contracts and agreements

Resolution referring to the Linn County Compensation Commission the partial acquisition of a permanent drainage easement and a temporary grading easement for construction from Duane K. and Darlus J. Selken from land located at 5225 Beverly Road SW in connection with the Beverly Road SW Culvert Replacement project.

CIP/DID #304421-00

EnvisionCR Element/Goal: ProtectCR Goal 1: Protect Cedar Rapids from flooding and other hazards.

Background: These easements are required to accommodate the proposed Beverly Road SW Culvert Replacement project. Negotiations are proceeding between the City and the property owner. However, in order to protect the City's project letting, the City will file an application for eminent domain proceedings if the City and the property owner come to an impasse with negotiations. Until the compensation commission hearing, negotiations will continue between both parties to reach a mutually agreeable settlement to conclude this transaction.

Referring this matter to the Linn County Compensation Commission is in accordance with the eminent domain proceedings to allow the City to obtain title to the required property. This action is an expediency to maintain the construction schedule. The City will offer mediation to the property owner if the City and the property owner come to an impasse with negotiations.

Action/Recommendation: The Public Works Department recommends that the City Council approve the referral to the Linn County Compensation Commission to obtain the required partial acquisition from 5225 Beverly Road SW owned by Duane K. and Darlus J. Selken.

Alternative Recommendation: If Council does not refer this matter to the Linn County Compensation Commission to obtain the required partial acquisition from 5225 Beverly Road SW, owned by Duane K. and Darlus J Selken, City Council shall direct staff to abandon or reconfigure the Beverly Road SW Culvert Replacement project.

Time Sensitivity: Normal

Resolution Date: February 9, 2016

Budget Information: 304/304000/304421 (NA)

Local Preference Policy: NA

Explanation: Local Preference Policy does not apply to the acquisition of a permanent drainage easement and a temporary grading easement for construction.

Recommended by Council Committee: NA

Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, the Public Works Director has determined the need for a permanent drainage easement and a temporary grading easement for construction are necessary for the Beverly Road SW Culvert Replacement project, (CIP No. 304421), and

WHEREAS, the additional permanent drainage easement and temporary grading easement for construction required from property located at 5225 Beverly Road SW, and the owner of said property is Duane K. and Darlus J. Selken, and

WHEREAS, the City has initiated negotiations with Duane K. and Darlus J. Selken for the acquisition and has made good faith effort to acquire the required permanent drainage easement and temporary grading easement for construction, and

WHEREAS, the Public Works Director has determined it is in the best interest of the City to refer this matter to the Linn County Compensation Commission to establish the fair value for the City to acquire the permanent drainage easement and temporary grading easement for construction, and

WHEREAS, the City Council has allocated Capital Improvement funds for the Beverly Road SW Culvert Replacement project (Fund 304, Dept ID 304000, Project 304421 NA), now therefore

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, the City Attorney is hereby authorized and directed to refer the partial acquisition matter of a permanent drainage easement and temporary grading easement for construction to the Linn County Compensation Commission to determine the fair compensation value and allow the property to be acquired with the following description:

See Attached Permanent Drainage Easement Exhibit
See Attached Temporary Construction Easement Exhibit

BE IT FURTHER RESOLVED, the City of Cedar Rapids Finance Director is hereby authorized and directed to issue payment in accord with the Compensation Commission award.

PASSED_DAY_TAG

LEG_PASSED_FAILED_TAG

MayorSignature

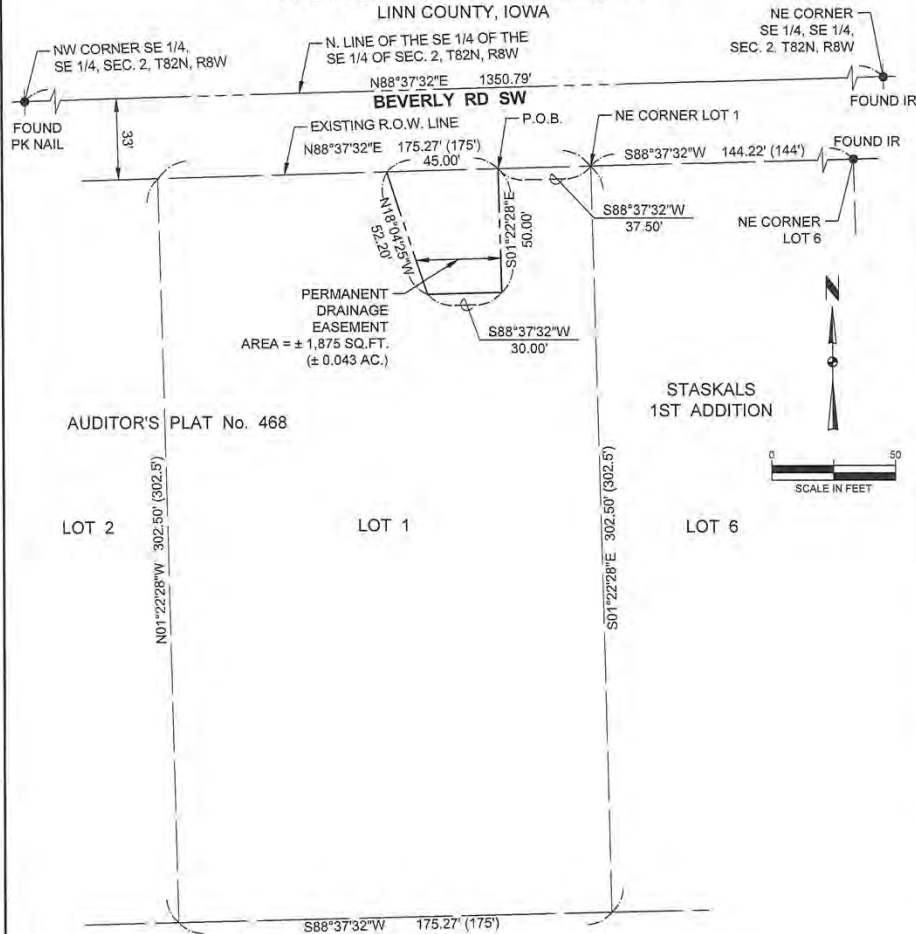
Attest:

ClerkSignature

LEG_TABLED_TAG

PERMANENT DRAINAGE EASEMENT EXHIBIT

PART OF LOT 1 OF AUDITOR'S PLAT No. 468
LINN COUNTY, IOWA



LEGAL DESCRIPTION:
PART OF LOT 1 OF AUDITOR'S PLAT No. 468, LINN COUNTY, IOWA,
DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID LOT 1;
THENCE SOUTH 88 DEGREES 37 MINUTES 32 SECONDS WEST
ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF BEVERLY ROAD
SW, A DISTANCE OF 37.50 FEET TO THE POINT OF BEGINNING;
THENCE SOUTH 01 DEGREE 22 MINUTES 28 SECONDS EAST, A
DISTANCE OF 50.00 FEET;
THENCE SOUTH 88 DEGREES 37 MINUTES 32 SECONDS WEST, A
DISTANCE OF 30.00 FEET;
THENCE NORTH 18 DEGREE 04 MINUTES 25 SECONDS WEST, A
DISTANCE OF 52.20 FEET TO A POINT ON SAID SOUTHERLY
RIGHT-OF-WAY LINE OF BEVERLY ROAD SW;
THENCE NORTH 88 DEGREES 37 MINUTES 32 SECONDS EAST ALONG
SAID SOUTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 45.00 FEET
TO THE POINT OF BEGINNING.
SAID EASEMENT CONTAINS 1,875 SQUARE FEET, MORE OR LESS.

LEGEND

●	FOUND SURVEY MONUMENT
—	EXISTING R.O.W. LINE
—	EXISTING LOT LINE
- - -	PROPOSED EASEMENT LINE
(100.00')	DEED DIMENSION

NOTES:

1. THE NORTH LINE OF THE
SE 1/4, SE 1/4 SEC. 2,
T82N, R8W OF THE 5TH
P.M. IS ASSUMED TO
BEAR N 88°37'32" E

PROPERTY ADDRESS:
5225 BEVERLY ROAD SW
CEDAR RAPIDS, IA

OWNER:
DARLUS J. SELKEN

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User: jason@cedar-rapids.org
Printer: jason@cedar-rapids.org



PREPARED BY:
CITY OF CEDAR RAPIDS, PUBLIC WORKS
500 15TH AVENUE SW, CEDAR RAPIDS, IA 52404
PHONE: 319-236-5502

Date: 10-5-2015
Drawn By: MAM
Approved By:
Project No: 204421

PERMANENT DRAINAGE EASEMENT EXHIBIT
5225 BEVERLY ROAD SW

SHEET No.
1

PART OF LOT 1 OF AUDITOR'S PLAT No. 468
LINN COUNTY, IOWA





Cadd File Name: W:\PROJECTS\304\304421 Beverly Road SW Culvert (FEMA_14)\304421 Council Map.dwg



**BEVERLY ROAD SW
CULVERT REPLACEMENT PROJECT**





Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at meeting: Pat Wieneke

Phone Number/Extension: 5848

E-mail Address: p.wieneke@cedar-rapids.org

Alternate Contact Person: Jason Junk

Phone Number/Extension: 5724

E-mail Address: j.junk@cedar-rapids.org

Description of Agenda Item: CONSENT AGENDA

Resolution authorizing City Clerk to return the Performance Bond and Payment Bond to Pirc-Tobin Construction, Inc. for the Alley Between 23rd Street Drive and 24th Street Drive SE East of 1st Avenue Storm Sewer Point Repair project.

CIP/DID #304391-02

EnvisionCR Element/Goal: ProtectCR Goal 3: Maintain and provide quality services to the community.

Background: The City and Pirc-Tobin Construction, Inc. entered into a construction contract on October 5, 2015 for the Alley Between 23rd Street Drive and 24th Street Drive SE East of 1st Avenue Storm Sewer Point Repair project. The contract provided for first determining the location of a storm sewer that had collapsed and then performing the repair.

The existing storm sewer was found to extend under a house at 2321 1st Avenue SE and the collapse was in close proximity to this house. It was determined that a repair was infeasible and that a separate project would need to be developed, bid and contracted at a future date to extend new storm sewer and abandon the existing storm sewer. Since no construction work was completed under this contract, the City and Pirc-Tobin Construction, Inc. agreed to discontinue the contract for the work determined infeasible.

On November 4, 2015 the City Manager signed Change Order No. 1 Final which discontinued the construction contract project with Pirc-Tobin Construction, Inc. due to the unforeseen changes in the scope of work. Since the only work performed was televising and locating the storm sewer, Pirc-Tobin Construction, Inc. has requested the Payment and Performance bonds be returned.

Action/Recommendation: The Public Works Department recommends adoption of the Resolution to authorize the City Clerk to return the Performance Bond and Payment Bond to Pirc-Tobin Construction, Inc.

Alternative Recommendation: Alternatives include not returning the Performance and Payment Bonds to Pirc-Tobin Construction, Inc.

Time Sensitivity: Normal

Resolution Date: February 9, 2016

Budget Information: NA

Local Preference Policy: NA

Explanation: NA

Recommended by Council Committee: NA

Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, the City of Cedar Rapids (CITY) and Pirc-Tobin Construction, Inc. entered into a construction contract on October 5, 2015 for the Alley Between 23rd Street Drive SE and 24th Street Drive SE East of 1st Avenue Storm Sewer Point Repair project (Contract No. 304391-02), and

WHEREAS, the project included provisions for determining the exact location of an existing storm sewer that had collapsed and provisions for repairing the collapsed storm sewer, and

WHEREAS, Pirc-Tobin Construction, Inc. performed the services to determine the location of the existing storm sewer, and

WHEREAS, the existing storm sewer was discovered to extend under an adjacent house at 2321 1st Avenue SE and the collapsed portion of the existing storm sewer was in close proximity to the adjacent house, and

WHEREAS, it was determined that the repair work was infeasible and that a separate CITY project would need to be developed, bid and contracted at a future date to extend new storm sewer and abandon the existing storm sewer, and

WHEREAS, since no construction work was to be completed by Pirc-Tobin Construction, Inc, CITY and Pirc-Tobin, Construction, Inc. agreed to discontinue the contract to not include the scope of work determined to be infeasible,

WHEREAS, a Performance Bond and Payment Bond, dated September 23, 2015 in the amount of \$11,977.50 covering said work filed by Pirc-Tobin Construction, Inc. and executed by United Fire & Casualty Company provides a 4-year correction period for defects in materials and workmanship, and

WHEREAS, Pirc-Tobin construction, Inc. has requested that the Performance Bond and Payment Bond be released and returned, and

WHEREAS, the City Engineer certifies the construction contract for the Alley Between 23rd Street Drive SE and 24th Street Drive SE East of 1st Avenue Storm Sewer Point Repair project (Contract No. 304391-02), has been discontinued and no work completed under the contract requires a Performance Bond and Payment Bond,

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the Performance Bond and Payment Bond are no longer required, and

BE IT FURTHER RESOLVED that based on the City Engineer's recommendation, the City of Cedar Rapids City Clerk is directed to return the original Performance Bond and Payment Bond to Pirc-Tobin Construction, Inc.

PASSED_DAY_TAG

LEG_PASSED_FAILED_TAG

MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG



Council Agenda Item Cover Sheet

Submitting Department: Community Development

Presenter at Meeting: Bill Micheel
E-mail Address: w.micheel@cedar-rapids.org

Phone Number/Ext.: 319 286-5045

Alternate Contact Person: Jeff Hintz
E-mail Address: j.hintz@cedar-rapids.org

Phone Number/Ext.: 319 286-5781

Description of Agenda Item: CONSENT AGENDA

Motion setting a public hearing for February 23, 2016 to consider amending Chapter 32 of the Municipal Code, the Zoning Ordinance, to expand the Northwest Flood Mitigation Overlay District with specific guidelines applicable to land use applications and permits.
 CIP/DID #ZONE-0001-2016

EnvisionCR Element/Goal: ProtectCR Goal 1: Protect Cedar Rapids from flooding and other hazards.

Background: Community Development Staff has initiated an ordinance amendment to expand the Northwest Flood Overlay District. The purpose of this action is to expand the Northwest Flood Overlay District to include all property included in the mandatory buyout area adopted by the City Council as a part of the final alignment of the flood control system.

The overlay district contains requirements which seek to limit new development or changes in development patterns within the district. This overlay does not prevent a homeowner from doing the following:

- Routine maintenance and upkeep, such as roof replacement
- Meeting requirements of building and other mechanical codes

The intent and spirit of this overlay is to keep properties in this area habitable, safe and enjoyable. At the same time, the overlay would prohibit changes in land use and significant investment. The proposed overlay district would not allow any new applications for the following:

- Zone changes
- Conditional Uses
- Home Occupation
- Expansion, construction or relocation of new structures
- Site Development Plans
- Platting, re-platting or subdividing of land
- Rental registrations

The overlay allows properties to be maintained, structures to be maintained and enjoyment of property as it exists today, while limiting unwarranted investment prior to the construction of the flood control system.

Action/Recommendation: City staff recommends setting the public hearing.

Alternative Recommendation: City Council may table and request additional information.

Time Sensitivity: N/A

Resolution Date: N/A

Budget Information: N/A

Local Preference Policy: NA

Recommended by Council Committee: Yes

Explanation: City Council Development Committee recommended the proposed ordinance amendment at its meeting on December 16, 2015.

City Planning Commission recommended approval of the proposed ordinance amendment at its meeting on January 28, 2016.



Council Agenda Item Cover Sheet

Submitting Department: Development Services

Presenter at Meeting: Joe Mailander
E-mail Address: j.mailander@cedar-rapids.org

Phone Number/Ext.: 319 286-5822

Alternate Contact Person: Vern Zakostelecky
E-mail Address: v.zakostelecky@cedar-rapids.org

Phone Number/Ext.: 319 286-5043

Description of Agenda Item: Motions setting public hearings

Motion setting a public hearing for February 23, 2016 to consider granting a change of zone for property North of Highway 30, east of Union Drive SW from A, Agriculture Zone District, to R-2, Single Family Residence Zone as requested by College Farms, LLC.
 CIP/DID # RZNE-022288-2015

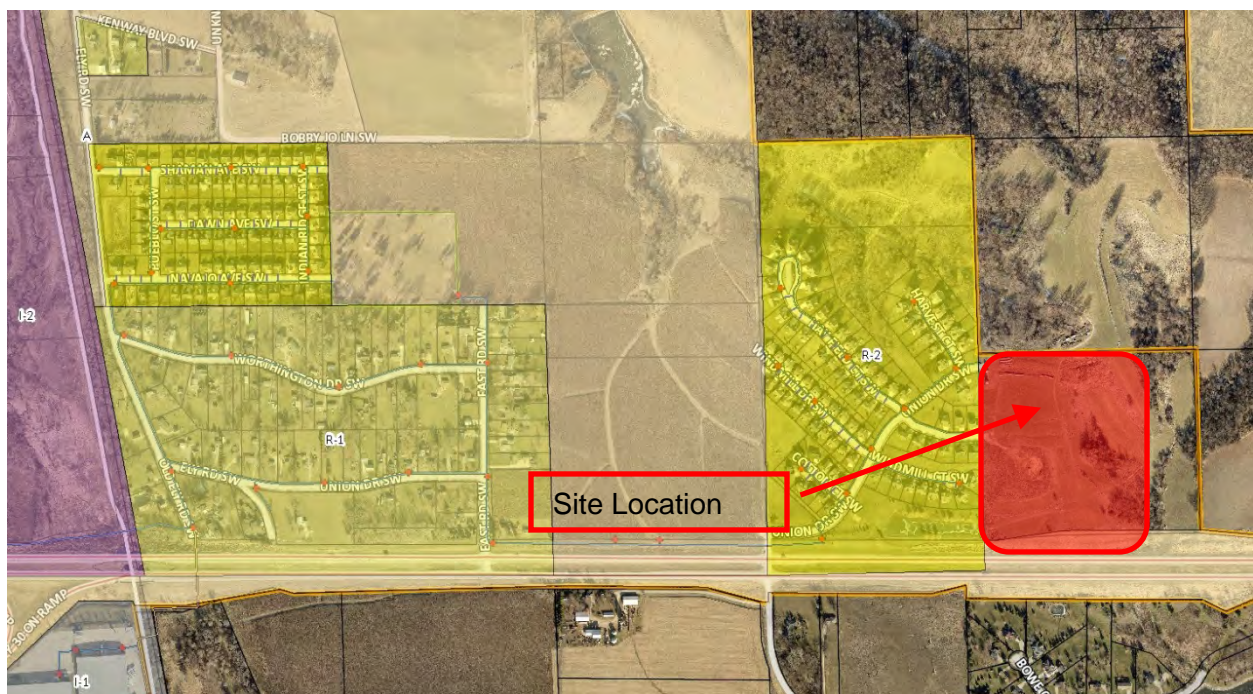
EnvisionCR Element/Goal: GrowCR Goal 2: Manage Growth.

Background: The request for a Rezoning without a Preliminary Plat was reviewed by the City Planning Commission on January 28, 2016 and approval was recommended by a vote of 8-1.

This property was annexed into the City in 2014. A previous rezoning request was presented to City Council in May 2014 and the 1st reading of the ordinance was approved by a vote of 7 to 2. The developer has been working with the City and residents of the existing development to address concerns presented during the previous submittal. The City's Future Land Use Map has recently been revised to include this area and designate it as Urban Low Intensity (U-LI).

Application Process/Next Steps:

Actions	Comments
City staff review	<ul style="list-style-type: none"> City staff reviewed the application and recommends setting a Public Hearing.
City Planning Commission review	<ul style="list-style-type: none"> The City Planning Commission reviewed the application on January 28, 2016 and recommended approval on an 8 to 1 vote. A portion of the minutes will be included prior to the public hearing.
City Council consideration	<ul style="list-style-type: none"> A public hearing to allow for public input and the First Reading of the Ordinance to be scheduled for February 23, 2016. Two additional readings of the Ordinance by City Council are required by State law before approval of the rezoning is final. Approval of the rezoning will be subject to the conditions stated in the Ordinance.





Council Agenda Item Cover Sheet

Submitting Department: Public Works Department

Presenter at meeting: Rita Rasmussen

Phone Number/Extension: 5807

E-mail Address: r.rasmussen@cedar-rapids.org

Alternate Contact Person: Carol Morgan

Phone Number/Extension: 5092

E-mail Address: c.morgan@cedar-rapids.org

Description of Agenda Item: Motions setting public hearings

Motion to set a public hearing for February 23, 2016 to consider the vacation and disposition of public ways and grounds in and to the property described as a portion of the 20-foot wide platted alley located between the southerly right-of-way line of Diagonal Drive SW and the northerly right-of-way line of 7th Avenue SW as requested by Landover Corporation.

CIP/DID #ROWV-022155-2015

EnvisionCR Element/Goal: InvestCR Goal 1: Expand economic development efforts to support business and workforce growth, market Cedar Rapids, and engage regional partners.

Background: Landover Corporation has requested the vacation and disposition of this excess City-owned alley right-of-way in order to accommodate the proposed site plan for their new independent senior living project at this location. All utilities located within the right-of-way will be removed and/or relocated as a part of the proposed site plan, and easements will be established as necessary. A public hearing and first reading of the ordinance will be held on February 23, 2016, and the 2nd and 3rd readings of the ordinance and final resolution will be held in the spring of 2016 after Landover Corporation receives final approval of funding from the Iowa Finance Authority and all utilities have been removed and/or relocated.

Action/Recommendation: If there are no objections during the public hearing, the Public Works Department recommends holding the first reading of the ordinance to vacate this parcel of excess City-owned alley right-of-way.

Alternative Recommendation: Require Landover Corporation to revise their site plans.

Time Sensitivity: Normal

Resolution Date: Proposed timeline as follows:

Public Hearing Date: February 23, 2016

1st reading of Ordinance: February 23, 2016

2nd reading of Ordinance, possible 3rd reading and possible resolution passing: TBD

Budget Information: NA

Local Preference Policy: NA

Explanation: This does not fit the criteria outlined in the policy and, therefore, does not apply.

Recommended by Council Committee: NA

Explanation: NA



Cadd File Name: W:\PROJECTS\Non-CIP\2015\4115 Right of Way Mgmt\VACATIONS 2015 - ENERGY\ROWV\202155-2015 Council Map.dwg



Council Agenda Item Cover Sheet

Submitting Department: Public Works Department

Presenter at meeting: Rita Rasmussen
E-mail Address: r.rasmussen@cedar-rapids.org

Phone Number/Extension: 5807

Alternate Contact Person: Carol Morgan
E-mail Address: c.morgan@cedar-rapids.org

Phone Number/Extension: 5092

Description of Agenda Item: Motions setting public hearings
 Motion to set a public hearing for February 23, 2016 to consider the vacation and disposition of public ways and grounds in and to the property described as a 15-foot by 250-foot alley located southwesterly of and adjacent to 42 7th Avenue SW as requested by Mott, LLC.
 CIP/DID #ROWV-022010-2015

EnvisionCR Element/Goal: InvestCR Goal 1: Expand economic development efforts to support business and workforce growth, market Cedar Rapids, and engage regional partners.

Background: Mott, LLC is in the process of rehabilitating the former Mott Building at 42 7th Avenue SW and has requested the vacation and disposition of the former alley in order to allow for more parking at this location. There are no utilities located within this 15-foot by 250-foot parcel.

Action/Recommendation: If there are no objections during the public hearing, the Public Works Department recommends holding the first reading of the ordinance to vacate this excess right-of-way.

Alternative Recommendation: If the Council does not vote to vacate this excess City-owned right-of-way, the alternative is to require Mott, LLC to revise their site development plans.

Time Sensitivity: Normal

Resolution Date : Proposed timeline as follows:
 Public Hearing Date: February 23, 2016
 1st reading of Ordinance: February 23, 2016
 2nd reading of Ordinance, possible 3rd reading and possible resolution passing: March 8, 2016

Budget Information: NA

Local Preference Policy: NA

Explanation: This does not fit the criteria outlined in the policy and, therefore, does not apply.

Recommended by Council Committee: NA

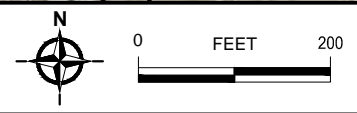
Explanation: NA



Cadd File Name: W:\PROJECTS\Non-CIP\2015\415 Right of Way Mgmt\VACATIONS 2015 - ENERGO\ROWV-022010-2015 42 7th Ave SW Alley - Former Mott Bug\ROWV-022010-2015 Council Map.dwg



15' x 250' ALLEY VACATION AND DISPOSITION



ROWV-022010-2015



Council Agenda Item Cover Sheet

Submitting Department: Community Development

Presenter at Meeting: Caleb Mason

Phone Number/Ext.: 319 286-5188

E-mail Address: c.mason@cedar-rapids.org

Alternate Contact Person: Jennifer Pratt

Phone Number/Ext.: 319 286-5047

E-mail Address: j.pratt@cedar-rapids.org

Description of Agenda Item: CONSENT AGENDA

Motion setting a public hearing for February 23, 2016 to consider the disposition of City-owned property at 101 and 109 3rd Avenue SE, and 312 1st Street SE and inviting competitive redevelopment proposals.

CIP/DID #DISP-0004-2016

EnvisionCR Element/Goal: (Click here to select)
--

Background: The Development Committee is recommending initiating the disposition process and inviting redevelopment proposals for the properties located at 101 & 109 3rd Avenue SE and 312 1st Street SE. The City acquired two (2) of the properties through the Voluntary Property Acquisition Program. The other property was acquired by the City from the Metro Economic Alliance (formerly the Downtown District). The properties are currently being leased for parking.

The stated objectives of the Request for Proposal were reviewed and recommended for approval by the Development Committee as follows:

1. Financially viable redevelopment based on current market conditions
2. Use of entire site for building footprint
3. Multi-story design of at least 5-stories
4. Urban design that enhances the character of the neighborhood
5. Pedestrian level must be inviting with commercial/retail space and/or architectural treatments
6. Coordination of parking needs with area property owners
7. Preference for projects that incorporate market rate housing options consistent with the Maxfield Research *Comprehensive Housing Market Analysis*

The proposals that are received will be evaluated and ranked against one another based on the following evaluation criteria:

1. Developer Capacity and Project Feasibility
 - a. Capacity, experience, and capability of the Proposer
 - b. Market Feasibility
 - c. Financial feasibility
 - d. Timeline for redevelopment and built-out

2. Community Benefit
 - a. Quality of architecture
 - b. Innovative sustainability features
 - c. Inclusion of market rate housing options
3. Economic impact
 - a. Overall project investment
 - b. Jobs created or retained
 - c. Amenities or services provided

The following is the timeline for the RFP:

January 20, 2016	City Council Development Committee
February 9, 2016	Motion Setting a Public Hearing (consent agenda)
February 23, 2016	Public Hearing & Resolution to invite competitive proposals
February 26, 2016	Informational Meeting
April 15, 2016	Deadline for proposal extension
April 29, 2016	11:00 a.m. - Proposal Deadline
May 6, 2016	Stakeholder panel selects proposal
May 18, 2016	Development Committee review of project design
May 24, 2016	City Council consideration of preferred Developer
July 26, 2016*	City Council consideration of a Development Agreement

Bold items denote City Council action

****Subject to mutual agreement of terms and conditions of a Development Agreement***

Action/Recommendation: City staff recommends setting the public hearing.

Alternative Recommendation: City Council may table and request additional information.

Time Sensitivity: February 9, 2016

Resolution Date: N/A

Budget Information: N/A

Local Preference Policy: NA

Recommended by Council Committee: Yes

On January 20, 2016 the Development Committee reviewed the RFP process timeline and criteria and is recommending initiating the RFP as proposed by staff.



Motion Item Cover Sheet

Submitting Department: Finance

Presenter at Meeting: Casey Drew
E-mail Address: c.drew@cedar-rapids.org

Phone Number/Ext.: 286-5097

Alternate Contact Person:
E-mail Address: @cedar-rapids.org

Phone Number/Ext.:

Description of Agenda Item: CONSENT AGENDA

Motion setting a public hearing for March 8, 2016 to consider the fiscal year 2017 annual budget.

CIP/DID #FIN2016-10

EnvisionCR Element/Goal: Routine business - EnvisionCR does not apply
--

Background: The City is required to hold a public hearing for the fiscal year 2017 annual budget. The notices are to be published no less than ten (10) or no more than twenty (20) days before the date of the said hearing. The budget is required to be certified to the Linn County Auditor by March 15, 2016.

Action/Recommendation:

Alternative Recommendation:

Time Sensitivity:

Motion Date: February 9, 2016

Budget Information: NA

Local Preference Policy: (Click here to select)
Explanation: NA

Recommended by Council Committee: (Click here to select)
Explanation: NA



Council Agenda Item Cover Sheet

Submitting Department: Community Development

Presenter at Meeting: Caleb Mason

Phone Number/Ext.: 319 286-5188

E-mail Address: c.mason@cedar-rapids.org

Alternate Contact Person: Jennifer Pratt

Phone Number/Ext.: 319 286-5047

E-mail Address: j.pratt@cedar-rapids.org

Description of Agenda Item: Motions setting public hearings

Motion setting a public hearing for March 22, 2016 to consider an Urban Revitalization Area designation for Thompson Truck and Trailer, Inc. at the SW corner of 6th Street SW and 76 Avenue SW for construction of a new commercial and industrial facility.

CIP/DID #URTE-0007-2016

EnvisionCR Element/Goal: InvestCR Goal 1: Expand economic development efforts to support business and workforce growth, market Cedar Rapids, and engage regional partners.

Background:

A request has been submitted by Thompson Truck and Trailer, Inc. for an Urban Revitalization Property Tax Exemption designation for the proposed construction of a new commercial and industrial facility generally located at the SW corner of 76th Avenue and 6th Street SW. The project qualifies for the City's High Quality Job – Economic Development Program.

Project Details:

- Construction of a new 55,000 sq. ft. commercial/industrial facility
- Total investment of \$8.3 million
- Retention of 34 jobs
- Creation of 10 new jobs meeting High Quality Jobs wage threshold

The partial tax exemption is a ten-year, declining scale exemption averaging 44% per year, applied only to the increased property valuation. Based on the scope of the proposed project, an additional taxable value of \$4,250,000 is estimated to be added resulting in approximately \$147,600 in additional property tax revenue annually. Under the sliding scale URTE schedule the project will generate an estimated \$885,000 million in total tax revenues will be collected and \$660,000 deferred as tax exempt over a 10-year period.

Action/Recommendation: City staff recommends setting the public hearing.

Alternative Recommendation: City Council may table and request additional information.

Time Sensitivity: NA

Resolution Date: March 22, 2016

Budget Information: NA

Local Preference Policy: NA

Recommended by Council Committee: NA



Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at meeting: Doug Wilson, PE
E-mail Address: d.wilson@cedar-rapids.org

Phone Number/Extension: 5141

Alternate Contact Person: Tim Mroch, PE
E-mail Address: t.mroch@cedar-rapids.org

Phone Number/Extension: 5703

Description of Agenda Item: Motions filing plans and specifications

Motion filing plans, specifications, form of contract, estimated costs, setting a public hearing date for February 23, 2016 and advertising for bids by publishing notice to bidders for the Oakland Road NE from H Avenue NE to J Avenue NE Pavement Rehabilitation project, and authorizing the City Engineer, or designee, to receive and open bids and publicly announce the results on February 24, 2016 (estimated cost is \$1,413,000) **(Paving for Progress)**.
 CIP/DID #3012099-02

EnvisionCR Element/Goal: ConnectCR Goal 4: Improve the function and appearance of our key corridors.

Background: This project includes pavement rehabilitation, upsizing the sanitary sewer, adding storm sewer and adding sidewalk to the east side of the road between H Avenue and I Avenue.

Action/Recommendation: The Public Works Department recommends approval of the Motion filing plans, specifications, form of contract, estimated costs, setting a public hearing date for February 23, 2016 and advertising for bids by publishing notice to bidders for the project.

Alternative Recommendation: Defer action on the motion setting the public hearing for the resolution to adopt plans and specifications, form of contract and estimated cost or abandon the project, direct staff to repackage the project into multiple smaller projects, or abandon the project.

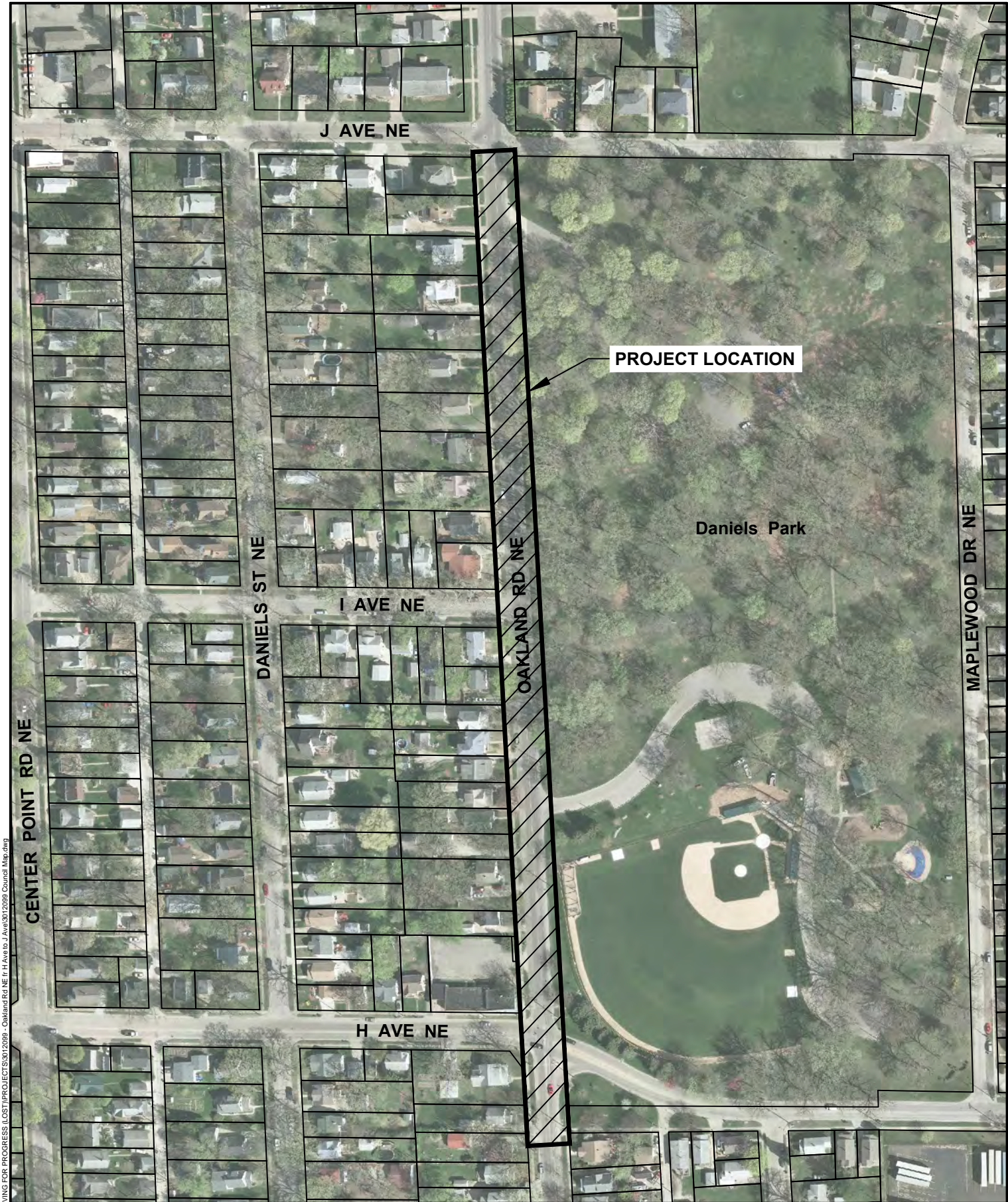
Time Sensitivity: Normal

Resolution Date: February 23, 2016

Budget Information: 301/301000/3012099 SLOST
 655/6550000/6550025 NA
 625/6250000/6250051-2016039 NA

Local Preference Policy: NA
Explanation: NA

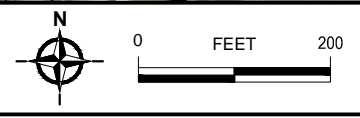
Recommended by Council Committee: NA
Explanation: NA



Cadd File Name: W:\PAVING FOR PROGRESS (LOST)\PROJECTS\3012099 - Oakland Rd NE fr H Ave to J Ave\3012099 Council Map.dwg



**OAKLAND ROAD NE ROADWAY IMPROVEMENTS
FROM H AVENUE TO J AVENUE**





Council Agenda Item Cover Sheet

Submitting Department: Water

Presenter at Meeting: Steve Hershner

Phone Number/Ext.: 5281

E-mail Address: SteveHe@cedar-rapids.org

Alternate Contact Person: Matthew Jensen

Phone Number/Ext.: 5937

E-mail Address: m.jensen@cedar-rapids.org

Description of Agenda Item: Motions filing plans and specifications

Motion filing plans, specifications, form of contract, estimated cost, setting a public hearing date for February 23, 2016 and advertising for bids by publishing notice to bidders for the Water Division Electric Metering Upgrades project and authorizing the Utilities Director, or designee, to receive and open the bids and publicly announce the results on March 9, 2016 (estimated cost is \$993,000).

CIP/DID #6250043-02

EnvisionCR Element/Goal: GreenCR Goal 3: Lead in energy conservation and innovation.

Background:

The Water Division owns and maintains facilities throughout the Cedar Rapids area that use a large amount of electrical power. This includes a City-owned 12.47 kV electric grid that supplies power to the two Water Plants and the well fields. The amount of electrical metering present in these facilities is limited, which makes it difficult to ascertain where in the system electricity is being used. In an effort to improve the efficiency of the process systems and reduce power bills, the Water Division is embarking on a project to install additional electric metering in its facilities.

The goal of the project is to install additional electric meters at Water Division facilities in locations that are most likely to identify opportunities for energy reducing cost savings. This will include installing electric meters at Booster Stations, throughout the two Water Plants, and at the Horizontal Collector Wells. The data from these new meters will be combined with the data from existing electric meters to give the Water System Operators an overview of where electricity is being used in the system. This will allow the Operators to optimize the system so that clean water can be provided at the lowest possible energy cost.

Action/Recommendation: The Utilities Department – Water Division staff recommends that the plans and specifications be filed with the City Clerk's Office on February 9, 2016 and a Notice of Hearing and Letting be published on February 13, 2016. A Public Hearing is scheduled for February 23, 2016 and bids will be opened on March 9, 2016.

Alternative Recommendation: None

Time Sensitivity: Action needed on 02-09-16

Resolution Date: 02-09-16

Budget Information:

1. **Included in Current Budget Year.** Yes. The project will be funded from the FY 2016 and FY2017 Water Division Capital Improvement Projects budget. The project will be coded to the following CIP fund: 553000-625-625000-x-x-6250043.
2. **Analysis if the expenditure is within budgeted expectations, i.e. some type of budget to actual comparison:** There is currently \$200,000 budgeted in the FY2016 CIP budget and \$700,000 budgeted in the FY2017 CIP budget for the Water Division Electric Metering Upgrade project.
3. **Purchasing Department used or Purchasing Guidelines followed:** Yes, the project is being publicly bid as a Capital Improvement Project.

Local Preference Policy: No

Explanation: Capital Improvement projects are not subject to Local Preference Policy.

Recommended by Council Committee: NA

Explanation: NA



Council Agenda Item Cover Sheet

Submitting Department: Water Pollution Control

Presenter at Meeting: Steve Hershner
E-mail Address: s.hershner@cedar-rapids.org

Phone Number/Ext.: 5281

Alternate Contact Person: Jonathan Mouw
E-mail Address: j.mouw@cedar-rapids.org

Phone Number/Ext.: 5296

Description of Agenda Item: Motions filing plans and specifications

Motion filing plans, specifications, form of contract, estimated cost, setting a public hearing date for February 23, 2016 and advertising for bids by publishing notice to bidders for the Water Pollution Control Facility Roof Replacements project, and authorizing the Utilities Director, or designee, to receive and open the bids and publicly announce the results on March 9, 2016 (estimated cost is \$495,000).

CIP/DID #615190-06

EnvisionCR Element/Goal: ProtectCR Goal 3: Maintain and provide quality services to the community.

Background:

The Water Pollution Control Facility (WPCF) was initially constructed between 1977 and 1980. In order to properly maintain the buildings at WPCF, a comprehensive long-term roof maintenance plan has been developed. This maintenance plan includes: inspection, maintenance, repair and replacement. The plan will be in a constant state of evaluation and will change, as necessary, to meet changes in conditions and plant requirements.

Select flat roofs at the site were evaluated by HR Green, Inc. during the Spring of 2015. The evaluation performed by HR Green, Inc. determined the roofs were reaching the end of their expected life and merited replacement. Additional deficiencies were noted in roof flashings, parapet wall caps, and various other roofing components.

The project will involve the replacement of flat roofs on four buildings at the Water Pollution Control Facility. The buildings included in the project are the Oxygen Generation Building, Maintenance Building, Main Lift Station, and Final Lift Station. Additional work will be performed where required on corresponding roof elements, such as tuck-pointing repairs on parapet walls, adding parapet wall caps, and replacement of roof drains and downspouts.

Action/Recommendation: The Utilities Department Water Pollution Control Division staff recommends that the plans and specifications be filed with the City Clerk's Office on February 9, 2016 and a Notice of Hearing and Letting be published on February 13, 2016. A Public Hearing is scheduled for February 23, 2016 and bids will be opened on March 9, 2016.

Alternative Recommendation: None

Time Sensitivity: 02-09-16

Resolution Date: 02-09-16

Budget Information:

1. **Included in Current Budget Year.** Yes, funding for the Water Pollution Control Facility Roof Replacements project is included in the FY16 WPC budget. Project costs will be coded to 925-553000-615-615000-615190.
2. **Analysis if the expenditure is within budgeted expectations, i.e. some type of budget to actual comparison:** There is currently \$350,000 budgeted in the FY16 CIP budget and \$175,000 in the projected FY17 budget for the construction of the Water Pollution Control Facility Roof Replacements project. Additional funds are available by adjusting other items in the CIP budget or from reserves if needed.
3. **Purchasing Department used or Purchasing Guidelines followed:** Yes, the project is being publicly bid as a Capital Improvement Project.

Local Preference Policy: No

Explanation: Capital Improvement Projects are not subject to local preference policy.

Recommended by Council Committee: NA

Explanation: NA



Council Agenda Item Cover Sheet

Submitting Department: Water Pollution Control

Presenter at Meeting: Steve Hershner
E-mail Address: s.hershner@cedar-rapids.org

Phone Number/Ext.: 5281

Alternate Contact Person: Matthew Jensen
E-mail Address: m.jensen@cedar-rapids.org

Phone Number/Ext.: 5937

Description of Agenda Item: Motions filing plans and specifications

Motion filing plans, specifications, form of contract, estimated cost, setting a public hearing date for February 23, 2016 and advertising for bids by publishing notice to bidders for the Water Pollution Control Operations & Maintenance Building HVAC Upgrade project, and authorizing the Utilities Director, or designee, to receive and open the bids and publicly announce the results on March 9, 2016 (estimated cost is \$1,360,000).

CIP/DID #6150014-02

EnvisionCR Element/Goal: ProtectCR Goal 3: Maintain and provide quality services to the community.

Background:

The Water Pollution Control Facility Operations & Maintenance Building is primarily being served by HVAC equipment that is original to the facility, which was constructed in 1980. The equipment is in need of an upgrade in order to meet current building codes for air exchanges per hour and to provide greater occupant comfort. The warehouse portion of the Operations & Maintenance Building was added to the building in the mid 1990's and is not integrated into the existing building-wide HVAC system.

The goal of the project is to replace existing HVAC system components (air handlers, condensers, intake and exhaust fans, ductwork, make-up air units, unit heaters) that are approaching the end of their service life. The project will involve redesigning/replacing the existing HVAC systems with equipment that is more corrosion resistant and energy efficient than the existing systems.

Action/Recommendation: The Utilities Department – Water Pollution Control Division staff recommends that the plans and specifications be filed with the City Clerk's Office on February 9, 2016 and a Notice of Hearing and Letting be published on February 13, 2016. A Public Hearing is scheduled for February 23, 2016 and bids will be opened on March 9, 2016.

Alternative Recommendation: None

Time Sensitivity: 02-09-16

Resolution Date: 02-09-16

Budget Information:

1. **Included in Current Budget Year.** Yes. The project will be funded from the FY 2016 and FY2017 Water Pollution Control Division Capital Improvement Projects budget. The project will be coded to the following CIP fund: 553000-615-615000-x-x-6150014.
2. **Analysis if the expenditure is within budgeted expectations, i.e. some type of budget to actual comparison:** There is currently \$150,000 budgeted in the FY2016 CIP budget and \$1,000,000 budgeted in the FY2017 CIP budget for the Water Pollution Control Operations & Maintenance Building HVAC Upgrade project. Other funding is available from reserves, if needed.
3. **Purchasing Department used or Purchasing Guidelines followed:** Yes, the project is being publicly bid as a Capital Improvement Project.

Local Preference Policy: No

Explanation: Capital Improvement projects are not subject to Local Preference Policy.

Recommended by Council Committee: NA

Explanation: NA



Council Agenda Item Cover Sheet

Submitting Department: City Clerk

Presenter at Meeting: Chief Wayne Jerman
E-mail Address: w.jerman@cedar-rapids.org

Phone Number/Ext.: 5374

Alternate Contact Person: Bridget McMenomy
E-mail Address: b.mcmenomy@cedar-rapids.org

Phone Number/Ext.: 5272

Description of Agenda Item: CONSENT AGENDA

Motion assessing a \$300 civil penalty for violation of the State Code regarding the sale of tobacco/vapor products to a minor against:

- a. Casey's General Store #2766, 380 33rd Avenue SW.

CIP/DID #CIG001830-05-2015

- b. Things N Things, 621 Center Point Road NE.

CIP/DID #CIG001803-04-2015

EnvisionCR Element/Goal: ProtectCR Goal 3: Maintain and provide quality services to the community.

Background: These violations occurred on December 9, 2015 (Casey's General Store #2766) and on December 16, 2015 (Things N Things) and have been processed through the Clerk of the District Court. The store attendants were found guilty. The permit holders have signed the consent to the assessment and waived their right to a hearing.

Action/Recommendation: Assess the civil penalties to continue the process for accurate record keeping/documentation.

Alternative Recommendation: If the local authority does not pursue the civil penalty, the state will do so. However, they will also keep the money from the civil penalties. These permit holders have paid their civil penalties to the City of Cedar Rapids. Per Iowa State Code the civil penalties are mandatory.

Time Sensitivity: Local licensing authorities will have 60 days from the time the underlying violation of selling tobacco to a minor is adjudicated before assessing the civil penalty against the retailer. If local authorities fail to act within 60 days, the prosecution is automatically transferred to the state. See Iowa § 453A.22(4).

Resolution Date: NA

Budget Information: NA

Local Preference Policy: NA
Explanation: NA

Recommended by Council Committee: NA
Explanation: NA



Council Agenda Item Cover Sheet

Submitting Department: City Clerk

Presenter at Meeting: Chief Jerman
E-mail Address: w.jerman@cedar-rapids.org

Phone Number/Ext.: 5374

Alternate Contact Person: Wanda Miller
E-mail Address: wandam@cedar-rapids.org

Phone Number/Ext.: 5274

Description of Agenda Item: Alcohol licenses

- a. Chipotle, 2360 Edgewood Road SW, Suite #100 (new – new construction).
- b. Coral Isle Club #909, 1620 E Avenue NE (transfer to Veterans Memorial Coliseum, 50 2nd Avenue Bridge, for an event on March 6, 2016).
- c. Leo 2, 4107 Center Point Road NE (new – formerly Point Liquor & Tobacco).
- d. Lion Bridge Brewing Company, 59 16th Avenue SW.
- e. May City Bowl, 1648 Trent Street SW.
- f. NewBo Ale House & Sushi, 1201 3rd Street SE.
- g. St Andrews Golf Club, 1866 Blairs Ferry Road NE.
- h. St Pius & Elizabeth Ann Seton School, 4901 Council Street NE (5-day permit for an event on February 27, 2016).
- i. Sushi House, 2665 Edgewood Parkway SW, Suite #100.
- j. Tanner's Bar & Grill, 5200 Fountains Drive NE (new – new construction).

CIP/DID # OB1145716

EnvisionCR Element/Goal: ProtectCR Goal 3: Maintain and provide quality services to the community.

Background: Per State Code, the local authority must provide approval prior to the State issuing the alcohol licenses to the applicants.

Action/Recommendation: Approve applications as submitted.

Alternative Recommendation: NA

Time Sensitivity: Normal

Resolution Date: NA

Budget Information: NA

Local Preference Policy: NA
Explanation: NA

Recommended by Council Committee: NA
Explanation: NA

Cedar Rapids Police Department Memorandum

To: Chief Jerman

From: Lt. Walter Deeds

Subject: Beer/Liquor License Applications Calls for Service Summary

Date: Feb 3, 2015

Business Name/Address	Total Calls	Public Intox	Intox Driver	Disturbances
Chipotle Mexican Grill #2694 West 2360 EDGEWOOD RD SW	0	0	0	0
Coral Isle Club #909 50 2ND AVE BRG	0	0	0	0
Leo 2 4107 CENTER POINT RD NE	0	0	0	0
Lion Bridge Brewing Company 59 16TH AVE SW	11	0	0	0
May City Bowl 1648 TRENT ST SW	5	0	0	0
NewBo Ale House & Sushi 1201 3RD ST SE	9	0	0	0
St Andrews Golf Club 1866 BLAIRS FERRY RD NE	7	0	0	0
St Pius & Elizabeth Ann Seton School 4901 COUNCIL ST NE	0	0	0	0
Sushi House 2665 EDGEWOOD PKWY SW	3	0	0	0
Tanner's Bar & Grill 5200 FOUNTAINS DR NE	0	0	0	0



Council Agenda Item Cover Sheet

Submitting Department: Finance

Presenter at Meeting: Casey Drew
E-mail Address: c.drew@cedar-rapids.org

Phone Number/Ext.: 5097

Alternate Contact Person: Vicky Grover
E-mail Address: v.grover@cedar-rapids.org

Phone Number/Ext.: 5007

Description of Agenda Item: Bills, payroll and funds
 Resolutions approving:
 a. Payment of bills. CIP/DID #FIN2016-01
 b. Payroll. CIP/DID #FIN2016-02

EnvisionCR Element/Goal: Routine business - EnvisionCR does not apply
--

Background: The bi-weekly listings of bills and payrolls have been examined and approved by the proper departments.

Action/Recommendation: Authorize the Finance Department to issue payments and payroll checks as per the Resolution listings.

Alternative Recommendation: NA

Time Sensitivity: Normal

Resolution Date: 02-09-16

Budget Information: NA

Local Preference Policy: NA
Explanation: NA

Recommended by Council Committee: NA
Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, the following payrolls have been examined and approved by the proper departments, therefore,

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the City Finance Director be and is hereby authorized and directed to issue checks in favor of the holders thereof and for various amounts and that the money necessary for payment of the same is hereby appropriated from the different funds.

Department	Total
Animal Control	\$ 21,957.95
Aquatics Operation	\$ 8,570.21
Attorney	\$ 20,055.26
Building Services Division	\$ 70,348.05
CD – Federal Programs	\$ 34,962.98
Cedar Rapids Public Library	\$ 113,629.58
City Manager	\$ 43,497.30
Civil Rights	\$ 12,762.72
Clerk	\$ 11,913.71
Community Development – DOD	\$ 29,305.32
Council	\$ 6,804.95
Development Services	\$ 36,683.20
Facilities Maintenance Service	\$ 45,521.78
Finance	\$ 14,313.60
Finance – Analysts	\$ 14,966.89
Financial Operations	\$ 43,060.97
Fire	\$ 384,628.07
Five Seasons Parking	\$ 7,154.40
Fleet Maintenance	\$ 79,024.04
Golf Operations	\$ 26,633.60
Human Resources	\$ 34,499.63
Information Technology	\$ 85,067.22
Joint Communications	\$ 59,608.31
Library Grants	\$ 6,091.20
Parks Operations	\$ 106,651.00
Police	\$ 667,967.19
Public Works	\$ 24,837.59
Public Works – Engineering	\$ 103,226.55
Purchasing Service	\$ 11,451.80
Recreation	\$ 28,899.36
Sewer Operations	\$ 51,434.69
Street Operations	\$ 129,080.18
Traffic Engineering	\$ 46,986.54
Transit	\$ 108,647.58
Treasury Operations	\$ 11,980.80
Utilities	\$ 12,803.53
Utilities – Solid Waste	\$ 87,487.38
Veterans Memorial	\$ 17,231.77
Water Operations	\$ 258,706.29
Water Pollution Control	\$ 175,226.71
Grand Total	\$ 3,053,679.90

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MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG



Council Agenda Item Cover Sheet

Submitting Department: City Clerk

Presenter at Meeting: Amy Stevenson
E-mail Address: AmyS@cedar-rapids.org

Phone Number/Ext.: 319-286-5061

Alternate Contact Person: Bridget McMenomy
E-mail Address: b.mcmenomy@cedar-rapids.org

Phone Number/Ext.: 319-286-5272

Description of Agenda Item: Boards and commissions
 Resolutions appointing the following individuals:

- a. Appointing James Kaas and Vernon Squires (effective through June 30, 2020) to the Airport Zoning Board of Adjustment.

CIP/DID #OB131017

- b. Appointing Pamela Lewis and Robert Schaffer (effective through June 30, 2017), Lijun Chadima and James Piersall (effective through June 30, 2018) and Craig Byers, Stephanie Jelinek and Ana McClain (effective through June 30, 2019) to the Czech Village-New Bohemia Self-Supported Municipal Improvement District Commission.

CIP/DID #CD-0005-2015

- c. Appointing Bethany Jordan (effective through June 30, 2016), John Albert Jr. and Michael Easley (effective through June 30, 2017) and Angie Kuhn and Jason Willis (effective through June 30, 2018) to the Medical Quarter Design Review Technical Advisory Committee.

CIP/DID #OB525028

EnvisionCR Element/Goal: ProtectCR Goal 3: Maintain and provide quality services to the community.

Background: This agenda includes appointments for the recently created Czech Village-New Bohemia Self-Supported Municipal Improvement District Commission and the Medical Quarter Design Review Technical Advisory Committee. This agenda also includes appointments to the Airport Zoning Board of Adjustment that had until recently had been inactive.

Action/Recommendation: Approve resolutions as presented.

Alternative Recommendation:

Time Sensitivity: None

Resolution Date: February 9, 2016

Budget Information: NA

Local Preference Policy: NA
Explanation: NA

Recommended by Council Committee: NA
Explanation: NA

A P P O I N T M E N T

I, Ron Corbett, Mayor of the City of Cedar Rapids, in accordance with Section 2.06 of the Home Rule Charter, and subject to the advice and consent of the Cedar Rapids City Council hereby appoint the following individuals to serve on the Airport Zoning Board of Adjustment for the terms as indicated or until a successor is appointed and qualified:

<u>Commissioner</u>	<u>Term Beginning</u>	<u>Term Expiration</u>
James Kaas	02/09/2016	06/30/2020
Vernon Squires	02/09/2016	06/30/2020

RESOLUTION NO. LEG_NUM_TAG

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the advice and consent of the City Council to the Mayor's appointment of James Kaas and Vernon Squires to the Airport Zoning Board of Adjustment for the terms indicated above is hereby given.

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MayorSignature

Attest:

ClerkSignature

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A P P O I N T M E N T

I, Ron Corbett, Mayor of the City of Cedar Rapids, in accordance with Section 2.06 of the Home Rule Charter, and subject to the advice and consent of the Cedar Rapids City Council hereby appoint the following individuals to serve on the Czech Village-New Bohemia Self-Supported Municipal Improvement District Commission for the terms as indicated or until a successor is appointed and qualified:

<u>Commissioner</u>	<u>Term Beginning</u>	<u>Term Expiration</u>
Pamela Lewis	02/09/2016	06/30/2017
Robert Schaffer	02/09/2016	06/30/2017
Lijun Chadima	02/09/2016	06/30/2018
James Piersall	02/09/2016	06/30/2018
Craig Byers	02/09/2016	06/30/2019
Stephanie Jelinek	02/09/2016	06/30/2019
Ana McClain	02/09/2016	06/30/2019

RESOLUTION NO. LEG_NUM_TAG

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the advice and consent of the City Council to the Mayor's appointment of Pamela Lewis, Robert Schaffer, Lijun Chadima, James Piersall, Craig Byers, Stephanie Jelinek and Ana McClain to the Czech Village-New Bohemia Self-Supported Municipal Improvement District Commission for the terms indicated above is hereby given.

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MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG

A P P O I N T M E N T

I, Ron Corbett, Mayor of the City of Cedar Rapids, in accordance with Section 2.06 of the Home Rule Charter, and subject to the advice and consent of the Cedar Rapids City Council hereby appoint the following individuals to serve on the Medical Quarter Design Review Technical Advisory Committee for the terms as indicated or until a successor is appointed and qualified:

<u>Commissioner</u>	<u>Term Beginning</u>	<u>Term Expiration</u>
Bethany Jordan	02/09/2016	06/30/2016
John Albert Jr.	02/09/2016	06/30/2017
Michael Easley	02/09/2016	06/30/2017
Angie Kuhn	02/09/2016	06/30/2018
Jason Willis	02/09/2016	06/30/2018

RESOLUTION NO. LEG_NUM_TAG

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the advice and consent of the City Council to the Mayor's appointment of Bethany Jordan, John Albert Jr., Michael Easley, Angie Kuhn and Jason Willis to the Medical Quarter Design Review Technical Advisory Committee for the terms indicated above is hereby given.

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MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG



Council Agenda Item Cover Sheet

Submitting Department: City Manager

Presenter at Meeting: Angie Charipar
E-mail Address: a.charipar@cedar-rapids.org

Phone Number/Ext.: 319-286-5090

Alternate Contact Person:
E-mail Address:

Phone Number/Ext.:

Description of Agenda Item: Special events
 Resolution approving the special event application for SAPADAPASO St. Patrick's Day Parade event (includes road closure) on March 17, 2016. CIP/DID #SPEC-047034-2015

EnvisionCR Element/Goal: Routine business - EnvisionCR does not apply
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Background:

Referencing the Special Event application received for the above special event which is requesting permission to hold activities with a street closure, approval is recommended subject to the conditions stated on the attached resolution.

Action/Recommendation: Approve resolution for the event.

Alternative Recommendation:

Time Sensitivity: .

Resolution Date: 02/09/16

Budget Information:

Local Preference Policy: NA
Explanation: NA

Recommended by Council Committee: NA
Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, Wayne Shannon, on behalf of St. Patrick's Day Parade Society (SAPADAPASO) has requested approval for the 41st Annual SAPADAPASO St. Patrick's Day Parade on city streets in downtown Cedar Rapids on Thursday, March 17, 2016 from 1 PM until 2:30 PM (not including set up and teardown times) with parade staging starting at 11 AM,

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, approval of this event is recommended subject to the following conditions:

1. Parade Staging Area:
 - 4th Avenue SE from 5th Street SE to 8th Street SE
 - 6th Street SE from 3rd Avenue SE to 5th Avenue SE
 - 7th Street SE from 3rd Avenue Se to 5th Avenue SE
2. Applicant has requested the following street closures for the staging area:
 - 4th Avenue SE from 5th Street SE to 8th Street SE
 - 6th Street SE from 3rd Avenue SE to 5th Avenue SE
 - 7th Street SE from 3rd Avenue SE to 5th Avenue SE
3. Applicant has requested the following street closures for the parade route:
 - 6th Street SE from 1st Avenue SE to 3rd Avenue SE
 - 5th Street SE from 1st Avenue SE to 4th Avenue SE
 - 3rd Street SE from 1st Avenue SE to 4th Avenue SE
 - 2nd Street SE from 1st Avenue SE to 4th Avenue SE
 - 2nd Avenue SE from 2nd Street SE to 7th Street SE
 - 3rd Avenue SE from 1st Street SE to 6th Street SE
4. Parade Route:
 - Start at 3rd Avenue SE and 6th Street SE, continue north on 6th Street SE to 2nd Avenue SE, west on 2nd Avenue SE to 2nd Street SE, south on 2nd Street SE to 3rd Avenue SE, east on 3rd Avenue SE to 5th Street SE, south on 5th Street SE to 4th Avenue SE (end of parade route) return to the staging area and disband.
5. Applicant shall arrange all necessary parking meter hooding and event loading zone operations per requirements of Republic Parking/Park CR (319-365-7275) 1 week in advance of event.
6. Applicant shall work with the Cedar Rapids Metro Economic Alliance office to facilitate parking removal along the parade route in the manner prescribed by the City as follows:
 - a. Applicant shall obtain temporary "No Parking" signs meeting requirements of the City including text, size and material. Sign text shall state "Emergency No Parking -- Tow Away Zone beginning 11:00 AM on March 17, 2016 per Municipal Code Sections 61.094 & 61.094A". Date and time on the temporary signs shall be stick-on and removable to facilitate use of the signs for other parades.
 - b. Applicant shall arrange installation of signs in the method, location and timing required by the City.
 - c. Applicant shall arrange removal of all signs immediately following completion of the parade.

- d. Applicant is responsible for notification of all affected property and business owners adjacent to areas of parking removal. Such notification shall occur a minimum of 48 hours prior to the parade. A copy of the notification shall be provided to the City Manager's Office prior to the event.
 - e. Applicant's approval for temporary "No Parking" signs is only for this event.
7. Applicant shall limit the number of parade entries to no more than 100 entries
 8. Applicant shall comply with all traffic controls as may be required and/or provided by the Police Department.
 9. Applicant shall provide adequate adult volunteers at all intersections and other locations to assist with walk event instructions, event monitoring, and event participant safety. Volunteers are NOT authorized to direct vehicular traffic at any time.
 10. Applicant agrees there will be no throwing of candy or other items from the parade units, any items intended to be distributed to parade attendees must be handed out.
 11. Participants shall utilize streets only when the street or traffic lane is officially closed with traffic control devices, otherwise sidewalks or trails shall be used unless directed by a uniformed police.
 12. Applicant will be responsible for contacting both the Union Pacific Railroad and the Cedar Rapids & Iowa City Railway to assure no conflicts will occur during the event at any railroad grade crossings that intersect with the race routes.
 13. Applicant shall provide written notification, a minimum of 48 hours before the event, to all affected property owners adjoining the barricaded street closures and/or temporary no parking, (to help minimize traffic conflicts between motorists and race participants). Written notification shall include information on the event including event route, event date, start and finish times, and the name and telephone number of the Applicant's contact person. A copy of this written notification shall be provided to the City Manager's Office.
 14. Applicant agrees that any pavement markings or signage required for this event will be done with prior approval of the City Traffic Engineering Division, and no permanent markings of any type will be permitted. Any signage and/or markings used must be removed immediately following the event.
 - a. Sidewalk chalk is acceptable for chalk art on public sidewalks OTHER THAN sidewalks in and adjacent to City parks.
 - b. Chalk paint shall not be applied to any city street or sidewalk.
 15. Applicant shall be responsible for all clean-up of the entire parade route and staging area and reimbursement to the City for any damage done to public property or clean up needed.
 16. The Public Works Department will provide barricades for the Police Department's placement, and any other traffic control deemed necessary by the City to maintain the flow and safety of vehicular and pedestrian traffic.

17. Greene Square turf will not be available for use until June 2016. Event staff/volunteers will need to ensure spectators stay off the establishing turf. Use of sidewalks and walkways is permitted. Signs will be posted by Parks & Recreation to assist, enforcement will need to be provided by the event applicant.
18. Applicant shall not obstruct the public sidewalk or impede normal pedestrian traffic. A minimum sidewalk clearance width of five (5) feet shall be maintained on all public sidewalks adjacent to the event site. Vehicles within the park are strictly prohibited.
19. Applicant shall contact the Cedar Rapids Police Department at least 15 to 30 days prior to the event to hire off-duty police officers, as required by the Police Department to attend barricades at street closures, to assist with traffic control at designated intersections, and for event security. Contact Sgt. Mark Andries (286-5438) to arrange officers. The Police Department will provide the off-duty officer contact name and cell number to applicant prior to the event.

Applicant shall be required to hire eighteen (18) off duty officers and one (1) commander as follows (estimated):

 - Fourteen (14) officers (\$49/hr) three (3) hour minimum = \$2,058
 - Four (4) officers \$49/hr four (4) hours = \$874
 - One (1) commander (\$54/hr) four (4) hour minimum = \$216
 - Estimated cost of off-duty officers is \$3,058 (however is dependent upon final determination at event time).
20. The City reserves the right to revoke or alter approval for any event date and/or route based upon a continuing evaluation of items including but not limited to safety, parking, traffic concerns, noise levels, etc., related to the event site and operation; or flood issues, conflicting street construction or other elements deemed hazardous to event attendees.
21. Applicant's insured traffic control contractor shall provide all barricades/traffic controls required by the City for the temporary street closure. All barricades/traffic controls must conform to the requirements of the Manual on Uniform Traffic Control Devices. Applicant shall provide the name and phone number of the company providing the barricades/traffic controls to the Police Department and Traffic Engineering a minimum of one week prior to the event.
22. Applicant agrees to defend, indemnify, and save the City of Cedar Rapids harmless from all liability and place on file at the City Clerk's Office, a certificate of liability insurance with policy limits satisfactory to the City Council naming the City of Cedar Rapids, Iowa, and its employees as additional insured, insuring against any liability that may arise in connection with the activities held.

PASSED_DAY_TAG

LEG_PASSED_FAILED_TAG

MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG



Council Agenda Item Cover Sheet

Submitting Department: City Manager

Presenter at Meeting: Angie Charipar
E-mail Address: a.charipar@cedar-rapids.org

Phone Number/Ext.: 319-286-5090

Alternate Contact Person:
E-mail Address:

Phone Number/Ext.:

Description of Agenda Item: Special events
 Resolution approving the special event application for St. Joseph's Day Parade event (includes road closures) on March 19, 2016. CIP/DID #SPEC-047690-2015

EnvisionCR Element/Goal: InvestCR Goal 4: Grow a sustainable, diverse economy by supporting businesses, fostering entrepreneurship, and targeting industry-specific growth.

Background:

Referencing the Special Event application received for the above special event which is requesting permission to hold activities with a street closure, approval is recommended subject to the conditions stated on the attached resolution.

Action/Recommendation: Approve resolution for the event.

Alternative Recommendation:

Time Sensitivity: .

Resolution Date: 02/09/16

Budget Information:

Local Preference Policy: NA
Explanation: NA

Recommended by Council Committee: NA
Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, Pam Imerman, on behalf of Czech Village Association, has requested approval for the St. Joseph's Day Parade on city streets in Czech Village on Saturday, March 19, 2016 with parade start time of 1 PM with parade staging for participants starting at 11 AM, and

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, approval of this event is recommended subject to the following conditions:

1. Staging area: 4th Street SE from 12th Avenue SE to 16th Avenue SE and 16th Avenue SE from 3rd Street SE to 4th Street SE

Route: Parade route begins at the intersection of 3rd Street SE and 16th Avenue SE, go southwest on 16th Avenue SE and continue across the Bridge of Lions (16th Avenue bridge) continuing southwest 16th Avenue SW and C Street SW and the end of the parade.

2. Applicant shall provide written notification, a minimum of 48 hours before the event, to all affected property owners adjoining the barricaded street closures and/or temporary no parking, (to help minimize traffic conflicts between motorists and race participants). Written notification shall include information on the event including event route, event date, start and finish times, and the name and telephone number of the Applicant's contact person. A copy of this written notification shall be provided to the City Manager's Office.
3. Food vendors must contact Linn County Public Health @ 319-892-6000 in advance of the event for required permits and guidelines (permits available at www.linncounty.org/health). The event organizer shall obtain copies of submitted temporary food service applications from food vendors prior to the event.
4. The Public Works Department will provide barricades at all intersections requiring Police Officer Closures for parade route for the Police Department's placement, and any other traffic control deemed necessary by the City to maintain the flow and safety of vehicular and pedestrian traffic.
5. Applicant shall contact the Cedar Rapids Police Department at least 15 to 30 days prior to the event to hire off-duty police officers, as required by the Police Department to attend barricades at street closures, to assist with traffic control at designated intersections, and for event security. Contact Sgt. Mark Andries (286-5438) to arrange officers. The Police Department will provide the off-duty officer contact name and cell number to applicant prior to the event.
 - o Applicant will be required to hire eight (8) off-duty officers and one (1) commander as follows:
 - o Eight (8) officers (\$49/hr) three (3) hour minimum = \$1,176
 - o One (1) commander (\$54/hr) four hour minimum = \$216
 - o Estimated cost of off-duty officers is \$1,392

6. Applicant shall provide adequate adult volunteers at all intersections and other locations to assist with walk event instructions, event monitoring, and event participant safety. Volunteers are NOT authorized to direct vehicular traffic at any time.
7. Applicant agrees there will be no throwing of candy or other items from the parade units, any items intended to be distributed to parade attendees must be handed out.
8. Applicant agrees that any pavement markings or signage required for this event will be done with prior approval of the City Traffic Engineering Division, and no permanent markings of any type will be permitted. Any signage and/or markings used must be removed immediately following the event.
 - a. Sidewalk chalk is acceptable for chalk art on public sidewalks OTHER THAN sidewalks in and adjacent to City parks.
 - b. Chalk paint shall not be applied to any city street or sidewalk.
9. If food is served and/or sold at the event, the applicant (or vendors) shall meet all applicable requirements of the Linn County Health Department and the City Code.
10. For traffic and pedestrian safety purposes, the City Traffic Engineering Division will approve temporary "No Parking" signs, meeting City specifications, to be placed along the following streets for this event: 16th Avenue SW from C Street SW to the end of the Bridge of Lions at 16th Avenue SE
 - a. The appropriate signs, as specified by the Traffic Engineering Division, will be installed, maintained and removed by an insured traffic control contractor that will be hired and paid by Applicant. Signs shall be stake mounted and a minimum size of 24" X 18", spaced at a maximum distance of 75' apart on all listed streets.
 - b. The temporary "No Parking" signs shall be installed by the traffic control contractor no earlier than Friday, March 18, 2016, and removed no later than Sunday, March 20, 2016.
 - c. The Applicant shall provide advance written notification to adjacent property owners on the above named streets of the event dates and times and the temporary "No Parking" posting. A copy of the notice shall be provided to the Traffic Engineering Division prior to the event.
11. Upon completion of event, all areas associated with the event will be cleaned up. All permanent Park trash receptacles must have trash removed by the event and bags replaced the day of the event. All park grounds that see event crowds must be inspected by the event for any trash, litter, temporary event signs, etc., which must be removed the day of the event before park closing hours. Needed additional trash or debris cleanup by Parks staff will be billed to the event for reimbursement.
12. Please note that all events are responsible to provide additionally desired park tables and receptacles beyond what is standardly available and in place within City Parks. Additional tables, trash cans, trash bags, servicing of trash cans and removal of event related trash, event fencing, hoses, etc. must be provided by the event applicant. Events are also not allowed to move park furniture and receptacles in order to fulfill additional needs by the event.
13. If cooking using LP, an LP permit is required.

14. The City reserves the right to revoke or alter approval for any event date and/or route based upon a continuing evaluation of items including but not limited to safety, parking, traffic concerns, noise levels, etc., related to the event site and operation; or flood issues, conflicting street construction or other elements deemed hazardous to event attendees.
15. Applicant agrees to defend, indemnify, and save the City of Cedar Rapids harmless from all liability and place on file at the City Clerk's Office, a certificate of liability insurance with policy limits satisfactory to the City Council naming the City of Cedar Rapids, Iowa, and its employees as additional insured, insuring against any liability that may arise in connection with the activities held.

PASSED_DAY_TAG

LEG_PASSED_FAILED_TAG

MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG



Council Agenda Item Cover Sheet

Submitting Department: Water

Presenter at Meeting: Steve Hershner
E-mail Address: s.hershner@cedar-rapids.org

Phone Number/Ext.: 5281

Alternate Contact Person: Kevin Kirchner
E-mail Address: k.kirchner@cedar-rapids.org

Phone Number/Ext.: 5902

Description of Agenda Item: Intent and levy assessments
 Intent to Assess – Utilities – Water Division – delinquent municipal utility bills – 32 properties.
 CIP/DID #WTR02-09-16-001

Routine business - EnvisionCR Does not apply

Background:

The Utilities Department – Water Division is responsible for the billing and collection of municipal utility bills for water, sewer, storm sewer, solid waste and recycling services provided to our customers. The Water Division initiates the Notice of Intent to Assess process whenever delinquent utility balances are unpaid; collection efforts have been ignored; and active services have been terminated. Below are the steps taken in typical situations:

- Friendly Reminder is mailed
- Final Notice is mailed
- Door Tag is placed at premise
- Services are terminated

A Notice of Intent to Assess letter is mailed (after Council approves the Resolution of Intent to Assess) giving the property owners 30 days to pay their delinquent municipal utility bill before a resolution for special assessment is approved by City Council to lien properties.

Action / Recommendation: The Utilities Department – Water Division recommends that the Resolution for Intent to Assess various properties for delinquent municipal utility bills be approved.

Alternative Recommendation (if applicable): The City Council could decide not to lien delinquent municipal utility bills.

Time Sensitivity: Normal

Resolution Date: 02/09/16

Budget Information: N/A

Local Preference Policy: NA
Explanation: NA

Recommended by Council Committee: NA
Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

INTENT TO ASSESS

WHEREAS, utility service charges (water, sewer, storm sewer, solid waste and recycling), penalties and Iowa sales tax have been provided to various properties in the City of Cedar Rapids, Iowa, and

WHEREAS, the occupants of the properties have failed to pay the municipal utility billings mailed for the utility service charges, and

WHEREAS, the utility service charges are now delinquent at these properties.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that special assessments be made against the properties and for the amounts shown on the attached listing, will be made by the City Council on the 22nd day of March, 2016 and notice was given by mailing to the owners of the properties, a notice of this proposed assessment, stating the amount of the assessment and the description of the property, and on what account, and that objections to said proposed assessment may be filed prior to 3:00 p.m., March 22, 2016.

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MayorSignature

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LIEN INTENTS (SPECIAL ASSESSMENTS) 2/09/16

LIEN INTENTS 2/09/16			
#	Balance Due	Premise Address	
1	\$ 97.14	106 LEROY ST NW	
2	\$ 74.28	116 BROADMORE RD SW	
3	\$ 278.40	138 34TH ST NE	
4	\$ 231.14	145 BROADMORE RD NW	
5	\$ 57.13	149 14TH AVE SW	
6	\$ 40.74	164 19TH AVE SW	
7	\$ 315.85	232 BOICE RD NW	
8	\$ 167.12	255 DRINKWARD ST NW	
9	\$ 235.94	421 9TH ST NW	
10	\$ 182.40	528 1ST AVE NW	
11	\$ 310.94	617 15TH ST SE	
12	\$ 40.97	802 FERNWOOD DR NE	
13	\$ 95.77	1002 17TH ST NE	
14	\$ 156.76	1121 21ST AVE SW	
15	\$ 106.57	1212 20TH AVE SW	
16	\$ 175.84	1217 ENGLISH LN NE	
17	\$ 185.92	1242 3RD AVE SE	
18	\$ 226.30	1415 K ST SW	
19	\$ 96.74	1548 7TH AVE SE	
20	\$ 109.76	1602 13TH AVE SE	
21	\$ 214.88	1824 1ST AVE NW	
22	\$ 126.28	1942 4TH AVE SE	
23	\$ 162.96	2018 SUGAR CREEK DR NW #B	
24	\$ 140.91	2045 PARK AVE SE	
25	\$ 330.00	2445 WILEY BLVD SW	
26	\$ 102.39	2809 SCHULTZ DR NW	
27	\$ 154.77	3207 14TH AVE SE	
28	\$ 124.66	3214 BRAMBLE RD SW	
29	\$ 228.41	3808 PINE WOOD DR NE	
30	\$ 112.85	3828 F AVE NW	
31	\$ 185.31	4010 37TH AVE SW #F	
32	\$ 115.06	9209 LAWRENCE DR SW W	
	\$ 5,184.19	Grand Total	
	32	Number of Properties	
	\$ 40.74	Balance Due - Low	
	\$ 330.00	Balance Due - High	



Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at meeting: Pat Wieneke

Phone Number/Extension: 5848

E-mail Address: p.wieneke@cedar-rapids.org

Alternate Contact Person: Jason Junk

Phone Number/Extension: 5724

E-mail Address: j.junk@cedar-rapids.org

Description of Agenda Item: Accept projects

Resolution accepting sanitary sewer in Crescent View Fourth Addition and approving 2-year Maintenance Bond submitted by Abode Construction, Inc. in the amount of \$47,122.70.

CIP/DID #FLPT-007026-2013

EnvisionCR Element/Goal: ConnectCR Goal 2: Build a complete network of connected streets.

Background: This item is for acceptance of a maintenance bond from Abode Construction, Inc. for sanitary sewer improvements. The construction has been substantially completed in accordance with the approved plans and City standards, has been inspected by the Public Works Department, and is recommended for acceptance. The value of the bond provided represents the construction value of the infrastructure improvements based on the developer's contract price for the infrastructure improvements.

Action/Recommendation: The Public Works Department recommends adoption of the Resolution to accept the maintenance bond as submitted from Abode Construction, Inc.

Alternative Recommendation: If Council chooses not to accept the maintenance bond, the Developer will encounter difficulty obtaining building permits and certification of occupancy for this development.

Time Sensitivity: Normal

Resolution Date: February 9, 2016

Budget Information: Private

Local Preference Policy: NA

Explanation: NA

Recommended by Council Committee: NA

Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, Abode Construction, Inc. has constructed sanitary sewer in Crescent View Fourth Addition, and

WHEREAS, said work has now been completed, and Abode Construction, Inc. has filed a 2-year Maintenance Bond, executed by North American Specialty Insurance Company in the sum of \$47,122.70 covering said work, now therefore

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the sanitary sewer constructed be and the same is hereby accepted, and

BE IT FURTHER RESOLVED that the 2-year Maintenance Bond filed by Abode Construction, Inc. be and the same is hereby approved and filed with the City of Cedar Rapids Finance Director.

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MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG



Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at meeting: Pat Wieneke
E-mail Address: p.wieneke@cedar-rapids.org

Phone Number/Extension: 5848

Alternate Contact Person: Jason Junk
E-mail Address: j.junk@cedar-rapids.org

Phone Number/Extension: 5724

Description of Agenda Item: Accept projects
 Resolution accepting storm sewer in Crescent View Fourth Addition and approving 2-year Maintenance Bond submitted by Abode Construction, Inc. in the amount of \$17,988.
 CIP/DID #FLPT-007026-2013

EnvisionCR Element/Goal: ConnectCR Goal 2: Build a complete network of connected streets.

Background: This item is for acceptance of a maintenance bond from Abode Construction, Inc. for storm sewer improvements. The construction has been substantially completed in accordance with the approved plans and City standards, has been inspected by the Public Works Department, and is recommended for acceptance. The value of the bond provided represents the construction value of the infrastructure improvements based on the developer's contract price for the infrastructure improvements.

Action/Recommendation: The Public Works Department recommends adoption of the Resolution to accept the maintenance bond as submitted from Abode Construction, Inc.

Alternative Recommendation: If Council chooses not to accept the maintenance bond, the Developer will encounter difficulty obtaining building permits and certification of occupancy for this development.

Time Sensitivity: Normal

Resolution Date: February 9, 2016

Budget Information: Private

Local Preference Policy: NA
Explanation: NA

Recommended by Council Committee: NA
Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, Abode Construction, Inc. has constructed storm sewer in Crescent View Fourth Addition, and

WHEREAS, said work has now been completed, and Abode Construction, Inc. has filed a 2-year Maintenance Bond, executed by North American Specialty Insurance Company in the sum of \$17,988 covering said work, now therefore

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the storm sewer constructed be and the same is hereby accepted, and

BE IT FURTHER RESOLVED that the 2-year Maintenance Bond filed by Abode Construction, Inc. be and the same is hereby approved and filed with the City of Cedar Rapids Finance Director.

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MayorSignature

Attest:

ClerkSignature

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Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at meeting: Pat Wieneke

Phone Number/Extension: 5848

E-mail Address: p.wieneke@cedar-rapids.org

Alternate Contact Person: Jason Junk

Phone Number/Extension: 5724

E-mail Address: j.junk@cedar-rapids.org

Description of Agenda Item: Accept projects

Resolution accepting Portland Cement Concrete pavement in Crescent View Fourth Addition and approving 4-year Maintenance Bond submitted by City Wide Construction Corporation in the amount of \$82,957.05

CIP/DID #FLPT-007026-2013

EnvisionCR Element/Goal: ConnectCR Goal 2: Build a complete network of connected streets.

Background: This item is for acceptance of a maintenance bond from City Wide Construction Corporation for Portland Cement Concrete pavement improvements. The construction has been substantially completed in accordance with the approved plans and City standards, has been inspected by the Public Works Department, and is recommended for acceptance. The value of the bond provided represents the construction value of the infrastructure improvements based on the developer's contract price for the infrastructure improvements.

Action/Recommendation: The Public Works Department recommends adoption of the Resolution to accept the maintenance bond as submitted from City Wide Construction Corporation.

Alternative Recommendation: If Council chooses not to accept the maintenance bond, the Developer will encounter difficulty obtaining building permits and certification of occupancy for this development.

Time Sensitivity: Normal

Resolution Date: February 9, 2016

Budget Information: Private

Local Preference Policy: NA

Explanation: NA

Recommended by Council Committee: NA

Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, City Wide Construction Corporation has filed a Maintenance Bond executed by North American Specialty Insurance Company in the sum of \$82,957.05 for Portland Cement Concrete pavement in Crescent View Fourth Addition, now therefore

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the 4-year Maintenance Bond filed by City Wide Construction Corporation be and the same is hereby approved and filed with the City of Cedar Rapids Finance Director, and

BE IT FURTHER RESOLVED that the acceptance of this street by the City of Cedar Rapids does not relieve Abode Construction, Inc. of the responsibility for:

1. The maintenance of adequate backfill around and under pavement.
2. The prevention and repair of paving undermining.
3. The removal and cleaning of the street surface of soil and debris resulting from the erosion of the adjacent property.

The above items shall remain the responsibility of Abode Construction, Inc. until such time as all the adjacent area has been developed and proper erosion control measures have been accomplished, and

BE IT FURTHER RESOLVED that the 4-year Maintenance Bond filed by City Wide Construction Corporation be and the same is hereby approved and filed with the City of Cedar Rapids Finance Director.

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MayorSignature

Attest:

ClerkSignature

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Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at meeting: Pat Wieneke
E-mail Address: p.wieneke@cedar-rapids.org

Phone Number/Extension: 5848

Alternate Contact Person: Jason Junk
E-mail Address: j.junk@cedar-rapids.org

Phone Number/Extension: 5724

Description of Agenda Item: Maintenance bonds
 Resolution accepting storm sewer in Knollwood Park Third Addition and approving 2-year Maintenance Bond submitted by Rathje Construction Company in the amount of \$48,964.
 CIP/DID #FLPT-017728-2015

EnvisionCR Element/Goal: ConnectCR Goal 2: Build a complete network of connected streets.

Background: This item is for acceptance of a maintenance bond from Rathje Construction Company for storm sewer improvements. The construction has been substantially completed in accordance with the approved plans and City standards, has been inspected by the Public Works Department, and is recommended for acceptance. The value of the bond provided represents the construction value of the infrastructure improvements based on the developer's contract price for the infrastructure improvements.

Action/Recommendation: The Public Works Department recommends adoption of the Resolution to accept the maintenance bond as submitted from Rathje Construction Company.

Alternative Recommendation: If Council chooses not to accept the maintenance bond, the Developer will encounter difficulty obtaining building permits and certification of occupancy for this development.

Time Sensitivity: Normal

Resolution Date: February 9, 2016

Budget Information: Private

Local Preference Policy: NA
Explanation: NA

Recommended by Council Committee: NA
Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, Rathje Construction Company has constructed storm sewer in Knollwood Park Third Addition, and

WHEREAS, said work has now been completed, and Rathje Construction Company has filed a 2-year Maintenance Bond, executed by United Fire & Casualty Company in the sum of \$48,964 covering said work, now therefore

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the storm sewer constructed be and the same is hereby accepted, and

BE IT FURTHER RESOLVED that the 2-year Maintenance Bond filed by Rathje Construction Company be and the same is hereby approved and filed with the City of Cedar Rapids Finance Director.

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MayorSignature

Attest:

ClerkSignature

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Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at meeting: Pat Wieneke
E-mail Address: p.wieneke@cedar-rapids.org

Phone Number/Extension: 5848

Alternate Contact Person: Jason Junk
E-mail Address: j.junk@cedar-rapids.org

Phone Number/Extension: 5724

Description of Agenda Item: Maintenance bonds

Resolution accepting Portland Cement Concrete pavement in Knollwood Park Third Addition and approving 4-year Maintenance Bond submitted by E & F Paving Company, LLC in the amount of \$45,000.

CIP/DID #FLPT-017728-2015

EnvisionCR Element/Goal: ConnectCR Goal 2: Build a complete network of connected streets.

Background: This item is for acceptance of a maintenance bond from E & F Paving Company, LLC for Portland Cement Concrete pavement improvements. The construction has been substantially completed in accordance with the approved plans and City standards, has been inspected by the Public Works Department, and is recommended for acceptance. The value of the bond provided represents the construction value of the infrastructure improvements based on the developer's contract price for the infrastructure improvements.

Action/Recommendation: The Public Works Department recommends adoption of the Resolution to accept the maintenance bond as submitted from E & F Paving Company, LLC.

Alternative Recommendation: If Council chooses not to accept the maintenance bond, the Developer will encounter difficulty obtaining building permits and certification of occupancy for this development.

Time Sensitivity: Normal

Resolution Date: February 9, 2016

Budget Information: Private

Local Preference Policy: NA
Explanation: NA

Recommended by Council Committee: NA
Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, E & F Paving Company, LLC has filed a Maintenance Bond executed by United Fire & Casualty Company in the sum of \$45,000 for Portland Cement Concrete pavement in Knollwood Park Third Addition, now therefore

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the 4-year Maintenance Bond filed by E & F Paving Company, LLC be and the same is hereby approved and filed with the City of Cedar Rapids Finance Director, and

BE IT FURTHER RESOLVED that the acceptance of this street by the City of Cedar Rapids does not relieve Knollwood Park Development Co. of the responsibility for:

1. The maintenance of adequate backfill around and under pavement.
2. The prevention and repair of paving undermining.
3. The removal and cleaning of the street surface of soil and debris resulting from the erosion of the adjacent property.

The above items shall remain the responsibility of Knollwood Park Development Co. until such time as all the adjacent area has been developed and proper erosion control measures have been accomplished, and

BE IT FURTHER RESOLVED that the 4-year Maintenance Bond filed by E & F Paving Company, LLC be and the same is hereby approved and filed with the City of Cedar Rapids Finance Director.

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MayorSignature

Attest:

ClerkSignature

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Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at meeting: Pat Wieneke
E-mail Address: p.wieneke@cedar-rapids.org

Phone Number/Extension: 5848

Alternate Contact Person: Jason Junk
E-mail Address: j.junk@cedar-rapids.org

Phone Number/Extension: 5724

Description of Agenda Item: Accept projects
 Resolution accepting sanitary sewer in Knollwood Park Fourth Addition and approving 2-year Maintenance Bond submitted by Rathje Construction Company in the amount of \$13,570.
 CIP/DID #FLPT-017729-2015

EnvisionCR Element/Goal: ConnectCR Goal 2: Build a complete network of connected streets.

Background: This item is for acceptance of a maintenance bond from Rathje Construction Company for sanitary sewer improvements. The construction has been substantially completed in accordance with the approved plans and City standards, has been inspected by the Public Works Department, and is recommended for acceptance. The value of the bond provided represents the construction value of the infrastructure improvements based on the developer's contract price for the infrastructure improvements.

Action/Recommendation: The Public Works Department recommends adoption of the Resolution to accept the maintenance bond as submitted from Rathje Construction Company.

Alternative Recommendation: If Council chooses not to accept the maintenance bond, the Developer will encounter difficulty obtaining building permits and certification of occupancy for this development.

Time Sensitivity: Normal

Resolution Date: February 9, 2016

Budget Information: Private

Local Preference Policy: NA
Explanation: NA

Recommended by Council Committee: NA
Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, Rathje Construction Company has constructed sanitary sewer in Knollwood Park Fourth Addition, and

WHEREAS, said work has now been completed, and Rathje Construction Company has filed a 2-year Maintenance Bond, executed by United Fire & Casualty Company in the sum of \$13,570 covering said work, now therefore

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the sanitary sewer constructed be and the same is hereby accepted, and

BE IT FURTHER RESOLVED that the 2-year Maintenance Bond filed by Rathje Construction Company be and the same is hereby approved and filed with the City of Cedar Rapids Finance Director.

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MayorSignature

Attest:

ClerkSignature

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Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at meeting: Pat Wieneke

Phone Number/Extension: 5848

E-mail Address: p.wieneke@cedar-rapids.org

Alternate Contact Person: Jason Junk

Phone Number/Extension: 5724

E-mail Address: j.junk@cedar-rapids.org

Description of Agenda Item: Accept projects

Resolution accepting storm sewer in Knollwood Park Fourth Addition and approving 2-year Maintenance Bond submitted by Rathje Construction Company in the amount of \$18,081.

CIP/DID #FLPT-017729-2015

EnvisionCR Element/Goal: ConnectCR Goal 2: Build a complete network of connected streets.

Background: This item is for acceptance of a maintenance bond from Rathje Construction Company for storm sewer improvements. The construction has been substantially completed in accordance with the approved plans and City standards, has been inspected by the Public Works Department, and is recommended for acceptance. The value of the bond provided represents the construction value of the infrastructure improvements based on the developer's contract price for the infrastructure improvements.

Action/Recommendation: The Public Works Department recommends adoption of the Resolution to accept the maintenance bond as submitted from Rathje Construction Company.

Alternative Recommendation: If Council chooses not to accept the maintenance bond, the Developer will encounter difficulty obtaining building permits and certification of occupancy for this development.

Time Sensitivity: Normal

Resolution Date: February 9, 2016

Budget Information: Private

Local Preference Policy: NA

Explanation: NA

Recommended by Council Committee: NA

Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, Rathje Construction Company has constructed storm sewer in Knollwood Park Fourth Addition, and

WHEREAS, said work has now been completed, and Rathje Construction Company has filed a 2-year Maintenance Bond, executed by United Fire & Casualty Company in the sum of \$18,081 covering said work, now therefore

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the storm sewer constructed be and the same is hereby accepted, and

BE IT FURTHER RESOLVED that the 2-year Maintenance Bond filed by Rathje Construction Company be and the same is hereby approved and filed with the City of Cedar Rapids Finance Director.

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MayorSignature

Attest:

ClerkSignature

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Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at meeting: Pat Wieneke

Phone Number/Extension: 5848

E-mail Address: p.wieneke@cedar-rapids.org

Alternate Contact Person: Jason Junk

Phone Number/Extension: 5724

E-mail Address: j.junk@cedar-rapids.org

Description of Agenda Item: Accept projects

Resolution accepting Portland Cement Concrete pavement in Knollwood Park Fourth Addition and approving 4-year Maintenance Bond submitted by E & F Paving Company, LLC in the amount of \$30,000.

CIP/DID #FLPT-017729-2015

EnvisionCR Element/Goal: ConnectCR Goal 2: Build a complete network of connected streets.

Background: This item is for acceptance of a maintenance bond from E & F Paving Company, LLC for Portland Cement Concrete pavement improvements. The construction has been substantially completed in accordance with the approved plans and City standards, has been inspected by the Public Works Department, and is recommended for acceptance. The value of the bond provided represents the construction value of the infrastructure improvements based on the developer's contract price for the infrastructure improvements.

Action/Recommendation: The Public Works Department recommends adoption of the Resolution to accept the maintenance bond as submitted from E & F Paving Company, LLC.

Alternative Recommendation: If Council chooses not to accept the maintenance bond, the Developer will encounter difficulty obtaining building permits and certification of occupancy for this development.

Time Sensitivity: Normal

Resolution Date: February 9, 2016

Budget Information: Private

Local Preference Policy: NA

Explanation: NA

Recommended by Council Committee: NA

Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, E & F Paving Company, LLC has filed a Maintenance Bond executed by United Fire & Casualty Company in the sum of \$30,000 for Portland Cement Concrete pavement in Knollwood Park Fourth Addition, now therefore

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the 4-year Maintenance Bond filed by E & F Paving Company, LLC be and the same is hereby approved and filed with the City of Cedar Rapids Finance Director, and

BE IT FURTHER RESOLVED that the acceptance of this street by the City of Cedar Rapids does not relieve Jim Sattler Construction of the responsibility for:

1. The maintenance of adequate backfill around and under pavement.
2. The prevention and repair of paving undermining.
3. The removal and cleaning of the street surface of soil and debris resulting from the erosion of the adjacent property.

The above items shall remain the responsibility of Jim Sattler Construction until such time as all the adjacent area has been developed and proper erosion control measures have been accomplished, and

BE IT FURTHER RESOLVED that the 4-year Maintenance Bond filed by E & F Paving Company, LLC be and the same is hereby approved and filed with the City of Cedar Rapids Finance Director.

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MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG



Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at meeting: Loren Snell, PE

Phone Number/Extension: 5804

E-mail Address: l.snell@cedar-rapids.org

Alternate Contact Person: Pat Wieneke **Phone Number/Extension:** 5848

E-mail Address: p.wieneke@cedar-rapids.org

Description of Agenda Item: Accept projects

Resolution accepting project, authorizing final payment in the amount of \$10,557.39 and approving the 4-year Performance Bond submitted by L.L. Pelling Company, Inc. for the 3rd Avenue SW Pavement Rehabilitation Improvements from 10th Street to 6th Street project (original contract amount was \$205,602.45; final contract amount is \$211,147.78). **(Paving for Progress)**

CIP/DID #3012082-02

EnvisionCR Element/Goal: ConnectCR Goal 4: Improve the function and appearance of our key corridors.

Background: Construction has been substantially completed by L.L. Pelling Company, Inc. for the 3rd Avenue SW Pavement Rehabilitation Improvements from 10th Street to 6th Street. This is an approved Capital Improvements Project (CIP No. 3012082-02) with a final construction contract amount of \$211,147.78. Funding resources for this project were approved in FY 16 and prior years and the project is completed within the approved budget.

Action/Recommendation: The Public Works Department recommends adoption of the Resolution to accept the project and performance bond and issue final payment to the contractor in the amount of \$10,557.39.

Alternative Recommendation: There is no alternative recommendation but an alternative action is to not accept the project. If the project is not accepted, the project cannot be closed out (retainage cannot be released to Contractor, four-year maintenance bond period cannot begin) and City could be subject to claims since Contractor has fulfilled the terms of the construction contract.

Time Sensitivity: Normal

Resolution Date: February 9, 2016

Budget Information (if applicable): CIP's 3012082 (Streets)

Local Preference Policy: Applies ☐ Exempt ☒

Explanation: Chapter 26 of the Code of Iowa requires construction contracts for highway, bridge, or culvert improvements be awarded to the lowest responsive, responsible bidder.

Recommended by Council Committee: Yes ☐ No ☒ N/A ☐

Explanation (if necessary): Part of the "Paving for Progress" list of streets identified for repair.

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, the City Engineer certifies construction contract work on the 3rd Avenue SW Pavement Rehabilitation Improvements from 10th Street to 6th Street project (Contract No. 3012082-02), has been substantially completed in accordance with the approved plans and specifications, and

WHEREAS, a Performance Bond, dated August 26, 2014 in the amount of \$195,002.45 covering said work filed by L.L. Pelling Company, Inc. and executed by Merchants Bonding Company (Mutual) provides a 4-year correction period for defects in materials and workmanship, and

WHEREAS, the final cost summary for this project is as follows:

Original Contract Amount	\$195,002.45
Possible Incentive	10,600.00
Change Order No. 1	14,376.02
Change Order No. 2`	-130.96
Removal of Original Incentive	<u>-8,700.00</u>
Amended Contract Amount	\$211,147.78

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the 4-year correction period as provided by the Performance Bond commences on this date, and

BE IT FURTHER RESOLVED that based on the City Engineer's recommendation, the 3rd Avenue SW Pavement Rehabilitation Improvements from 10th Street to 6th Street project, (Contract No. 3012082-02) be and the same is hereby accepted as being substantially completed, and the City of Cedar Rapids Finance Director is authorized and directed to issue a warrant in the sum of \$10,557.39 to L.L. Pelling Company, Inc. as final payment.

The final contract price is \$211,147.78 distributed as follows: \$211,147.78 301-301000-7970-3012082, and

BE IT FURTHER RESOLVED, that sales tax was not paid on the above project and therefore there is no refund to be submitted to the State of Iowa.

PASSED_DAY_TAG

LEG_PASSED_FAILED_TAG

MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG





Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at meeting: Pat Wieneke

Phone Number/Extension: 5848

E-mail Address: p.wieneke@cedar-rapids.org

Alternate Contact Person: Loren Snell, PE

Phone Number/Extension: 5804

E-mail Address: l.snell@cedar-rapids.org

Description of Agenda Item: Accept projects

Resolution authorizing Change Order No. 7 (Final) in the amount of \$5,350, accepting project, authorizing final payment in the amount of \$126,333.42 and approving the 4-year Performance Bond submitted by Pirc-Tobin Construction, Inc. for the 4th Avenue SE Pavement Rehabilitation from 5th Street SE to 19th Street SE project (original contract amount was \$2,219,444.15; final contract amount is \$2,526,668.46).

CIP/DID #3012080-02

EnvisionCR Element/Goal: ConnectCR Goal 4: Improve the function and appearance of our key corridors.

Background: This is a contract change order to adjust the contract price based on the actual quantities of completed work. The unit prices remain the same as originally bid and the contract price is adjusted in accordance with the provisions specified in the terms and conditions. Change Order No. 6 reduced quantities down, but the Pavement Symbols item was reduced too low. This change order corrects this item.

Construction has been substantially completed by Pirc-Tobin Construction, Inc. for the 4th Avenue SE Pavement Rehabilitation from 5th Street SE to 19th Street SE project. This is an approved Capital Improvements Project (CIP No. 3012080-02) with a final construction contract amount of \$2,526,668.46. Funding resources for this project were approved in FY 16 and prior years and the project is completed within the approved budget.

Action/Recommendation: The Public Works Department recommends adoption of the Resolution to accept the project and performance bond and issue final payment to the contractor in the amount of \$126,333.42.

Alternative Recommendation: There is no alternative recommendation but an alternative action is to not accept the project. If the project is not accepted, the project cannot be closed out (retainage cannot be released to Contractor, four-year maintenance bond period cannot begin) and City could be subject to claims since Contractor has fulfilled the terms of the construction contract.

Time Sensitivity: Normal

Resolution Date: February 9, 2016

Budget Information: 3012080 SLOST

Local Preference Policy: NA

Explanation: NA

Recommended by Council Committee: NA

Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, the Public Works Director / City Engineer certifies that the work on 4th Avenue SE Pavement Rehabilitation from 5th Street SE to 19th Street SE project (Contract No. 3012080-02), has been substantially completed in accordance with the plans and specifications, and

WHEREAS, a Performance Bond, dated March 24, 2015 in the amount of \$2,189,444.15 covering said work filed by Pirc-Tobin Construction, Inc. and executed by United Fire & Casualty Company provides a four-year correction period for defects in materials and workmanship,

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the City Manager is authorized to sign Change Order No. 7 Final in the amount of \$5,350 with Pirc-Tobin Construction, Inc. for the 4th Avenue SE Pavement Rehabilitation from 5th Street SE to 19th Street SE project, Contract No. 3012080-02. A cost summary of the contract changes for this project is as follows:

Original Contract Amount	\$2,189,444.15
Original Incentive Value	30,000.00
Change Order No. 1	181,628.65
Change Order No. 2	69,127.70
Change Order No. 3	44,383.96
Change Order No. 4	127,649.89
Change Order No. 5	67,081.48
Change Order No. 6	(182,997.37)
Change Order No. 7 Final	5,350.00
Removal of Original Incentive Value	<u>(5,000.00)</u>
Amended Contract Amount	\$2,526,668.46

General ledger coding for this Change Order to be as follows: \$5,350 301-301000-7970-3012080

BE IT FURTHER RESOLVED that the 4th Avenue SE Pavement Rehabilitation from 5th Street SE to 19th Street SE project, (Contract No. 3012080-02) be and the same is hereby accepted by the City Public Works Department, and the City of Cedar Rapids Finance Director is authorized and directed to issue a warrant in the sum of \$126,333.42 to Pirc-Tobin Construction, Inc. as final payment.

The final contract price is \$2,526,668.46 distributed as follows: \$2,526,668.46; \$2,139,821.01 301-301000-7970-3012080, \$290,619.21 625-625000-625542-6252015055, \$9,272 655-655000-65585-655999, \$37,998.60 306-306000-30685-306253, \$17,599 321-321000-32185-321536, \$31,358.64 301-301000-3012146, and

BE IT FURTHER RESOLVED, that the four-year correction period as provided by the Performance Bond commences on this date, and

BE IT FURTHER RESOLVED, that sales tax was not paid on the above project and therefore there is no refund to be submitted to the State of Iowa.

PASSED_DAY_TAG

LEG_PASSED_FAILED_TAG

MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG



4TH AVENUE SE FROM 5TH STREET TO 19TH STREET IMPROVEMENTS PROJECT



3012080-02



Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at meeting: Loren Snell, PE

Phone Number/Extension: 5804

E-mail Address: l.snell@cedar-rapids.org

Alternate Contact Person: Pat Wieneke **Phone Number/Extension:** 5848

E-mail Address: p.wieneke@cedar-rapids.org

Description of Agenda Item: Accept projects

Resolution accepting project, authorizing final payment in the amount of \$11,633.01 and approving the 4-year Performance Bond submitted by Trey Electric Corporation for the Edgewood Road SW and Edgewood Parkway SW Traffic Signal Improvements project (original contract amount was \$228,642.80; final contract amount is \$232,660.25).

CIP/DID #306163-03

EnvisionCR Element/Goal: ConnectCR Goal 4: Improve the function and appearance of our key corridors.

Background: Construction has been substantially completed by Trey Electric Corporation for the Edgewood Road SW and Edgewood Parkway SW Traffic Signal Improvements. This is an approved Capital Improvements Project (CIP No. 306163-03) with a final construction contract amount of \$232,660.25. Funding resources for this project were approved in FY 16 and prior years and the project is completed within the approved budget.

Action/Recommendation: The Public Works Department recommends adoption of the Resolution to accept the project and performance bond and issue final payment to the contractor in the amount of \$11,633.01.

Alternative Recommendation: There is no alternative recommendation but an alternative action is to not accept the project. If the project is not accepted, the project cannot be closed out (retainage cannot be released to Contractor, four-year maintenance bond period cannot begin) and City could be subject to claims since Contractor has fulfilled the terms of the construction contract.

Time Sensitivity: Normal

Resolution Date: February 9, 2016

Budget Information (if applicable):

CIP No. 3017015(sidewalk)	\$ 30,185
CIP No. 306163 (signals)	\$301,115
Total Construction Budget	\$331,300

Local Preference Policy: Applies ☐ Exempt ☒

Explanation: Chapter 26 of the Code of Iowa requires construction of public improvements to be awarded to the lowest responsive, responsible bidder.

Recommended by Council Committee: Yes ☐ No ☐ N/A ☒

Explanation (if necessary):

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, the City Engineer certifies construction contract work on the Edgewood Road SW and Edgewood Parkway SW Traffic Signal Improvements project (Contract No. 306163-03), has been substantially completed in accordance with the approved plans and specifications, and

WHEREAS, a Performance Bond, dated February 24, 2015 in the amount of \$225,142.80 covering said work filed by Trey Electric Corporation and executed by Cincinnati Insurance Company provides a 4-year correction period for defects in materials and workmanship, and

WHEREAS, the final cost summary for this project is as follows:

Original Contract Amount	\$225,142.80
Original Incentive Value	3,500.00
Change Order No. 1	891.00
Change Order No. 2	975.00
Change Order No. 3	687.40
Change Order No. 4	-3,035.45
Change Order No. 5 Final	<u>4,499.50</u>
Revised Contract Value	\$232,660.25

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the 4-year correction period as provided by the Performance Bond commences on this date, and

BE IT FURTHER RESOLVED that based on the City Engineer's recommendation, the Edgewood Road SW and Edgewood Parkway SW Traffic Signal Improvements project, (Contract No. 306163-03) be and the same is hereby accepted as being substantially completed, and the City of Cedar Rapids Finance Director is authorized and directed to issue a warrant in the sum of \$11,633.01 to Trey Electric Corporation as final payment.

The final contract price is \$232,660.25 distributed as follows: \$232,660.25; \$213,813.41 306-306000-306163, \$18,846.84 301-301000-3017015

, and

BE IT FURTHER RESOLVED, that sales tax was not paid on the above project and therefore there is no refund to be submitted to the State of Iowa.

PASSED_DAY_TAG

LEG_PASSED_FAILED_TAG

MayorSignature

Attest:

ClerkSignature

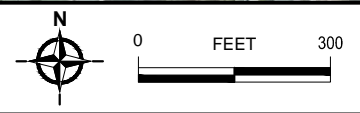
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**EDGEWOOD ROAD AND EDGEWOOD PARKWAY SW
TRAFFIC SIGNAL INSTALLATION**





Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at meeting: Pat Wieneke

Phone Number/Extension: 5848

E-mail Address: p.wieneke@cedar-rapids.org

Alternate Contact Person: Jason Junk

Phone Number/Extension: 5724

E-mail Address: j.junk@cedar-rapids.org

Description of Agenda Item: Accept projects

Resolution accepting project, authorizing final payment in the amount of \$56,796.55 and approving the 4-year Performance Bond submitted by Rathje Construction Company for the Midway Drive NW from Peace Avenue NW to Bezdek Drive NW Roadway Reconstruction project (original contract amount was \$1,154,655; final contract amount is \$1,135,930.99).

(Paving for Progress)

CIP/DID #3012120-02

EnvisionCR Element/Goal: ProtectCR Goal 3: Maintain and provide quality services to the community.

Background: Construction has been substantially completed by Rathje Construction Company for the Midway Drive NW from Peace Avenue NW to Bezdek Drive NW Roadway Reconstruction project. This is an approved Capital Improvements Project (CIP No. 3012120-02) with a final construction contract amount of \$1,135,930.99. Funding resources for this project were approved in FY 16 and prior years and the project is completed within the approved budget.

Action/Recommendation: The Public Works Department recommends adoption of the Resolution to accept the project and performance bond and issue final payment to the contractor in the amount of \$56,796.55.

Alternative Recommendation: There is no alternative recommendation but an alternative action is to not accept the project. If the project is not accepted, the project cannot be closed out (retainage cannot be released to Contractor, four-year maintenance bond period cannot begin) and City could be subject to claims since Contractor has fulfilled the terms of the construction contract.

Time Sensitivity: Normal

Resolution Date: February 9, 2016

Budget Information: 301000, 3012120, 3012120-02, SLOST

Local Preference Policy: NA

Recommended by Council Committee: (Click here to select)

Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, the City Engineer certifies construction contract work on the Midway Drive NW from Peace Avenue NW to Bezdek Drive NW Roadway Reconstruction project (Contract No. 3012120-02), has been substantially completed in accordance with the approved plans and specifications, and

WHEREAS, a Performance Bond, dated May 12, 2015 in the amount of \$1,114,655 covering said work filed by Rathje Construction Company and executed by United Fire & Casualty Company provides a 4-year correction period for defects in materials and workmanship, and

WHEREAS, the final cost summary for this project is as follows:

Original Contract Amount	\$1,114,655.00
Possible Incentive	40,000.00
Change Order No. 1	8,288.25
Change Order No. 2	1,550.00
Change Order No. 3	7,558.92
Change Order No. 4	18,190.67
Change Order No. 5 Final	-38,311.85
Removal of Original Incentive	<u>-16,000.00</u>
Amended Contract Amount	\$1,135,930.99

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the 4-year correction period as provided by the Performance Bond commences on this date, and

BE IT FURTHER RESOLVED that based on the City Engineer's recommendation, the Midway Drive NW from Peace Avenue NW to Bezdek Drive NW Roadway Reconstruction project, (Contract No. 3012120-02) be and the same is hereby accepted as being substantially completed, and the City of Cedar Rapids Finance Director is authorized and directed to issue a warrant in the sum of \$56,796.55 to Rathje Construction Company as final payment.

The final contract price is \$1,135,930.99 distributed as follows: \$1,135,930.99; \$1,092,966.99 301-301000-7970-3012120, \$ 42,964 625-625000-6258884-6252015026, and

BE IT FURTHER RESOLVED, that sales tax was not paid on the above project and therefore there is no refund to be submitted to the State of Iowa.

PASSED_DAY_TAG

LEG_PASSED_FAILED_TAG

MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG



Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at meeting: Pat Wieneke

Phone Number/Extension: 5848

E-mail Address: p.wieneke@cedar-rapids.org

Alternate Contact Person: Jason Junk

Phone Number/Extension: 5724

E-mail Address: j.junk@cedar-rapids.org

Description of Agenda Item: Accept projects

Authorizing Change Order No. 7 Final deducting the amount of \$95,490.32, accepting project and performance bond, and issuance of final payment in the amount of \$45,177.98 to Rathje Construction Company for the SE Quadrant Sanitary Sewer Improvements – Phase 2, Package 2 project (original contract amount was \$931,429.33; final contract amount is \$903,559.56) (FLOOD)

CIP/DID #SSD104-06

EnvisionCR Element/Goal: ProtectCR Goal 1: Protect Cedar Rapids from flooding and other hazards.

Background: This is a contract change order to adjust the contract price based on the actual quantities of completed work. The unit prices remain the same as originally bid and the contract price is adjusted in accordance with the provisions specified in the terms and conditions.

Construction has been substantially completed by Rathje Construction Company for the SE Quadrant Sanitary Sewer Improvements – Phase 2, Package 2 project. This is an approved Capital Improvements Project (CIP No. SSD104-06) with a final construction contract amount of \$903,559.56. Funding resources for this project were approved in FY 16 and prior years and the project is completed within the approved budget.

Action/Recommendation: The Public Works Department recommends adoption of the Resolution approving Change Order No. 7 Final, accepting the project and performance bond and issuing final payment to the contractor in the amount of \$45,177.98.

Alternative Recommendation: There is no alternative recommendation but an alternative action is to not accept the project. If the project is not accepted, the project cannot be closed out (retainage cannot be released to Contractor, four-year maintenance bond period cannot begin) and City could be subject to claims since Contractor has fulfilled the terms of the construction contract.

Time Sensitivity: Normal

Resolution Date: February 9, 2016

Budget Information (if applicable): FEMA PW #SSD104 FLOOD

Local Preference Policy: Applies ☐ Exempt ☒

Recommended by Council Committee: NA
Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, the Public Works Director / City Engineer certifies that the work on SE Quadrant Sanitary Sewer Improvements – Phase 2, Package 2 (Contract No. SSD104-06), has been substantially completed in accordance with the plans and specifications, and

WHEREAS, a Performance Bond, dated February 10, 2015 in the amount of \$897,429.33 covering said work filed by Rathje Construction Company and executed by United Fire & Casualty Company provides a four-year correction period for defects in materials and workmanship,

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the City Manager is authorized to sign Change Order No. 7 Final deducting the amount of \$95,490.32 with Rathje Construction Company for the SE Quadrant Sanitary Sewer Improvements – Phase 2, Package 2, Contract No., SSD104-06. A cost summary of the contract changes for this project is as follows:

Original Contract Amount	\$897,429.33
Original Incentive Value	34,000.00
Change Order No. 1	3,000.81
Change Order No. 2	17,474.00
Change Order No. 3	84.00
Change Order No. 4	2,195.76
Change Order No. 5	44,527.13
Change Order No. 6	9,088.85
Change Order No. 7 Final	-95,490.32
Removal of Original Incentive Value	-6,500.00
Addition of Disincentive and/or Liquidated Damages	-2,250.00
Amended Contract Amount	<u>\$903,559.56</u>

General ledger coding for this Change Order to be as follows: \$-95,490.32; 330-330210-18511-SSD104 (FLOOD)

BE IT FURTHER RESOLVED that the SE Quadrant Sanitary Sewer Improvements – Phase 2, Package 2, (Contract No. SSD104-06) be and the same is hereby accepted by the City Public Works Department, and the City of Cedar Rapids Finance Director is authorized and directed to issue a warrant in the sum of \$45,177.98 to Rathje Construction Company as final payment.

The final contract price is \$903,559.56 distributed as follows: \$903,559.56 330-330210-18511-SSD104

BE IT FURTHER RESOLVED, that the four-year correction period as provided by the Performance Bond commences on this date, and

BE IT FURTHER RESOLVED, that sales tax was not paid on the above project and therefore there is no refund to be submitted to the State of Iowa.

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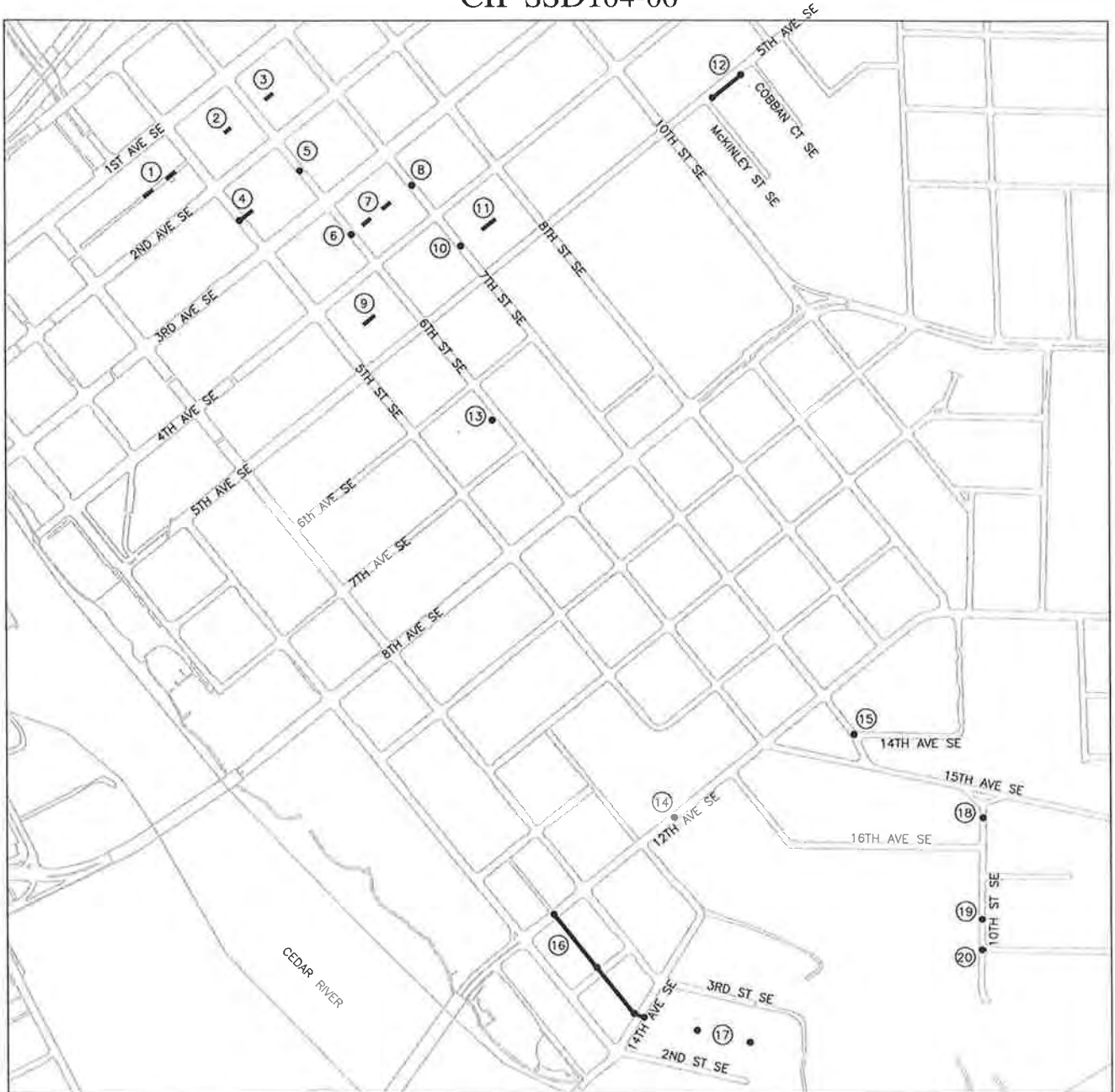
MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG

SE Quadrant Sanitary Sewer Improvements Phase 2, Package 2 CIP SSD104-06



Project Location Map and Table Reference

ID	LOCATION	ID	LOCATION
1	Alley between 1st-2nd Avenues and 4th-5th Streets SE	11	Alley between 4th-5th Avenues and 7th-8th Streets SE
2	Alley between 1st-2nd Avenues and 4th-5th Streets SE	12	5th Avenue SE from McKinley SE to SW of Cobban Ct SE
3	Alley between 1st-2nd Avenues and 6th-7th Streets SE	13	Alley between 6th-7th Avenues and 5th-6th Streets SE
4	5th Street SE between 2nd-3rd Avenues SE	14	12th Avenue SE northeast of 4th Street SE
5	6th Street SE between 2nd-3rd Avenues SE	15	Intersection of 14th Avenue SE and 7th Street SE
6	6th Street SE between 3rd-4th Avenues SE	16	Alley b/t 2nd St SE and 3rd St SE from 12th Ave SE to 14th Ave SE
7	Alley between 3rd-4th Avenues and 6th-7th Streets SE	17	Alley east of 14th Avenue between 2nd-3rd Streets SE
8	7th Street SE between 3rd-4th Avenues SE	18	10th Street SE between 15th-16th Avenues SE
9	Alley between 4th-5th Avenues and 5th-6th Streets SE	19	10th St SE south of 17th Ave SE
10	7th Street SE between 4th-5th Avenues SE	20	10th St SE from Hull Ave SE to 17th Ave SE



Council Agenda Item Cover Sheet

Submitting Department: Community Development - Housing

Presenter at Meeting: Amanda Vande Voorde
E-mail Address: a.vandevoorde@cedar-rapids.org

Phone Number/Ext.: 319 286-5817

Alternate Contact Person: Paula Mitchell
E-mail Address: p.mitchell@cedar-rapids.org

Phone Number/Ext.: 319 286-5852

Description of Agenda Item: CONSENT AGENDA

Resolution authorizing execution of Development Agreement with Scallon Custom Homes, L.L.C. for property at 1770 Mallory Street SW participating in the fourth round of the Single Family New Construction program (**FLOOD**).
 CIP/DID #OB540257

EnvisionCR Element/Goal: StrengthenCR Goal 4: Create a city that is affordable and accessible to all members of the community.

Background: The resolution for City Council consideration provide for the execution of Development Agreement with the above listed developer and associated property through the fourth round of the Single Family New Construction Program, known locally as the ROOTs program. The City and developer are ready to execute the Development Agreement to allow construction on the home to begin. To date, 88 such agreements for privately-owned property have been executed for the fourth round of the ROOTs program.

Highlights of the terms and conditions contained in the Development Agreements are as follows:

- a. Property is being conveyed to the qualified developer based on the investment provided by the developer in the construction of a single-family home;
- b. Developer agrees to commence construction by April 15, 2016, and complete construction by September 30, 2016;
- c. Developer is responsible to resolve conflicts with adjacent property owners and purchasers that might result from the construction project;
- d. Developer is responsible for maintaining the property in accordance with all City and State codes;
- e. Developer shall comply with all program requirements pertaining to the sale of the property to a qualified buyer.

On October 8, 2013, by Resolution No. 1591-10-13, the City Council approved the Administrative Plan for the fourth round of the Single Family New Construction (SFNC) Program; and,

On March 12, 2015, by Resolution No. 0336-03-15, the City Council approved Amendment No. 2 to the Administrative Plan for the fourth round of the Single Family New Construction (SFNC)

Program. The modifications to the administrative plan allow for development in Tiers 1, 2, and 3 under the following circumstances:

- Builders will be eligible to be allocated a maximum of 1 unit outside Tier 1 for every unit they have constructed in a previous program round. Actual allocation outside Tier 1 will be subject to application review and funding availability.
- Shovel readiness will receive scoring consideration.
- The order of priority for allocation will be lots in Tier 1, followed by lots in Tier 2, with lots in Tier 3 receiving the lowest point value for location.
- Ongoing process for reallocation of lots that do not move forward to ensure full expenditure of grant resources.

Through a competitive proposal process, developers submitted applications for the program which listed “preference sites”. These sites include City-owned being acquired through the Voluntary Property Acquisition Program and privately-owned property. A team of City staff and neighborhood representatives evaluated the proposals based on:

- financial and performance capacity;
- experience with projects of similar scope;
- architectural design;
- compatibility with the existing neighborhood;
- green building practices; and
- marketing plan.

A total of 187 properties have been identified by 21 developers in the current phase of property allocation for this program.

Action/Recommendation: City staff recommends approval of the resolution

Alternative Recommendation: City Council may table and request additional information.

Time Sensitivity: N/A

Resolution Date: February 9, 2016

Budget Information: N/A

Local Preference Policy: NA

Recommended by Council Committee: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, on October 8, 2013, the City Council passed Resolution 1591-10-13 approving the administrative plan and local program guidelines for the fourth round of the Single Family New Construction Program (SFNC); and

WHEREAS, on April 12, 2015, the City Council passed Resolution 0336-03-15 which modified the administrative plan (Amendment No. 2) and local program guidelines to allow for development in Tier 1, 2, and 3 boundary areas under specific circumstances; and

WHEREAS, the Developer agrees to construct a single-family dwelling on the privately-owned property at 1770 Mallory Street SW, for which the City will provide down payment assistance to the home buyer upon purchase through the SFNC program; and

WHEREAS, the City and Developer have come to mutual agreement as to the terms and conditions of the Development Agreement which is now ready for execution on behalf of the City;

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that on behalf of the City of Cedar Rapids, the City Manager and City Clerk are hereby authorized to execute the Development Agreement with Scallon Custom Homes, L.L.C. for property at 1770 Mallory Street SW.

PASSED_DAY_TAG

LEG_PASSED_FAILED_TAG

MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG



Council Agenda Item Cover Sheet

Submitting Department: Community Development - Housing

Presenter at Meeting: Amanda Vande Voorde
E-mail Address: a.vandevoorde@cedar-rapids.org

Phone Number/Ext.: 319 286-5817

Alternate Contact Person: Paula Mitchell
E-mail Address: p.mitchell@cedar-rapids.org

Phone Number/Ext.: 319 286-5852

Description of Agenda Item: CONSENT AGENDA

Resolution authorizing execution of Development Agreement with Thomas Dostal Developers, Inc. for property at 5321 Dostal Drive SW participating in the fourth round of the Single Family New Construction program (**FLOOD**).
 CIP/DID #OB540257

EnvisionCR Element/Goal: StrengthenCR Goal 4: Create a city that is affordable and accessible to all members of the community.

Background: The resolution for City Council consideration provide for the execution of Development Agreement with the above listed developer and associated property through the fourth round of the Single Family New Construction Program, known locally as the ROOTs program. The City and developer are ready to execute the Development Agreement to allow construction on the home to begin. To date, 88 such agreements for privately-owned property have been executed for the fourth round of the ROOTs program.

Highlights of the terms and conditions contained in the Development Agreements are as follows:

- a. Property is being conveyed to the qualified developer based on the investment provided by the developer in the construction of a single-family home;
- b. Developer agrees to commence construction by April 15, 2016, and complete construction by September 30, 2016;
- c. Developer is responsible to resolve conflicts with adjacent property owners and purchasers that might result from the construction project;
- d. Developer is responsible for maintaining the property in accordance with all City and State codes;
- e. Developer shall comply with all program requirements pertaining to the sale of the property to a qualified buyer.

On October 8, 2013, by Resolution No. 1591-10-13, the City Council approved the Administrative Plan for the fourth round of the Single Family New Construction (SFNC) Program; and,

On March 12, 2015, by Resolution No. 0336-03-15, the City Council approved Amendment No. 2 to the Administrative Plan for the fourth round of the Single Family New Construction (SFNC)

Program. The modifications to the administrative plan allow for development in Tiers 1, 2, and 3 under the following circumstances:

- Builders will be eligible to be allocated a maximum of 1 unit outside Tier 1 for every unit they have constructed in a previous program round. Actual allocation outside Tier 1 will be subject to application review and funding availability.
- Shovel readiness will receive scoring consideration.
- The order of priority for allocation will be lots in Tier 1, followed by lots in Tier 2, with lots in Tier 3 receiving the lowest point value for location.
- Ongoing process for reallocation of lots that do not move forward to ensure full expenditure of grant resources.

Through a competitive proposal process, developers submitted applications for the program which listed “preference sites”. These sites include City-owned being acquired through the Voluntary Property Acquisition Program and privately-owned property. A team of City staff and neighborhood representatives evaluated the proposals based on:

- financial and performance capacity;
- experience with projects of similar scope;
- architectural design;
- compatibility with the existing neighborhood;
- green building practices; and
- marketing plan.

A total of 187 properties have been identified by 21 developers in the current phase of property allocation for this program.

Action/Recommendation: City staff recommends approval of the resolution

Alternative Recommendation: City Council may table and request additional information.

Time Sensitivity: N/A

Resolution Date: February 9, 2016

Budget Information: N/A

Local Preference Policy: NA

Recommended by Council Committee: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, on October 8, 2013, the City Council passed Resolution 1591-10-13 approving the administrative plan and local program guidelines for the fourth round of the Single Family New Construction Program (SFNC); and

WHEREAS, on April 12, 2015, the City Council passed Resolution 0336-03-15 which modified the administrative plan (Amendment No. 2) and local program guidelines to allow for development in Tier 1, 2, and 3 boundary areas under specific circumstances; and

WHEREAS, the Developer agrees to construct a single-family dwelling on the privately-owned property at 5321 Dostal Drive SW, for which the City will provide down payment assistance to the home buyer upon purchase through the SFNC program; and

WHEREAS, the City and Developer have come to mutual agreement as to the terms and conditions of the Development Agreement which is now ready for execution on behalf of the City;

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that on behalf of the City of Cedar Rapids, the City Manager and City Clerk are hereby authorized to execute the Development Agreement with Thomas Dostal Developers, Inc. for property at 5321 Dostal Drive SW.

PASSED_DAY_TAG

LEG_PASSED_FAILED_TAG

MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG



Council Agenda Item Cover Sheet

Submitting Department: Community Development - Housing

Presenter at Meeting: Amanda Vande Voorde
E-mail Address: a.vandevoorde@cedar-rapids.org

Phone Number/Ext.: 5817

Alternate Contact Person: Paula Mitchell
E-mail Address: p.mitchell@cedar-rapids.org

Phone Number/Ext.: 5852

Description of Agenda Item: CONSENT AGENDA

Resolution authorizing execution of Development Agreement and Special Warranty Deed with Scallon Custom Homes, L.L.C. for City-owned property at 1766 Mallory Street SW participating in the fourth round of the Single Family New Construction program (**FLOOD**).
 CIP/DID #OB540257

EnvisionCR Element/Goal: StrengthenCR Goal 4: Create a city that is affordable and accessible to all members of the community.

Background: The resolution for City Council consideration provide for the execution of Development Agreement and deed with the above listed developer and associated property through the fourth round of the Single Family New Construction Program, known locally as the ROOTs program. The property has been awarded through a competitive proposal process and the City and developers are ready to execute the Development Agreements and deeds to allow construction on the home to begin. To date, 76 such agreements and deeds for City property have been executed for the fourth round of the ROOTs program.

Highlights of the terms and conditions contained in the Development Agreements are as follows:

- a. Property is being conveyed to the qualified developer based on the investment provided by the developer in the construction of a single-family home;
- b. Developer agrees to commence construction by April 15, 2016, and complete all projects by September 30, 2016;
- c. Developer is responsible to resolve conflicts with adjacent property owners and purchasers that might result from the construction project;
- d. Developer is responsible for maintaining the property in accordance with all City and State codes;
- e. Developer shall comply with all program requirements pertaining to the sale of the property to a qualified buyer.

On October 8, 2013, by Resolution No. 1591-10-13, the City Council approved the Administrative Plan for the fourth round of the Single Family New Construction (SFNC) Program; and,

On March 12, 2015, by Resolution No. 0336-03-15, the City Council approved Amendment No. 2 to the Administrative Plan for the fourth round of the Single Family New Construction (SFNC) Program. The modifications to the administrative plan allow for development in Tiers 1, 2, and 3 under the following circumstances:

- Builders will be eligible to be allocated a maximum of 1 unit outside Tier 1 for every unit they have constructed in a previous program round. Actual allocation outside Tier 1 will be subject to application review and funding availability.
- Shovel readiness will receive scoring consideration.
- The order of priority for allocation will be lots in Tier 1, followed by lots in Tier 2, with lots in Tier 3 receiving the lowest point value for location.
- Ongoing process for reallocation of lots that do not move forward to ensure full expenditure of grant resources.

Through a competitive proposal process, developers submitted applications for the program which listed “preference sites”. These sites include City-owned being acquired through the Voluntary Property Acquisition Program and privately-owned property. A team of City staff and neighborhood representatives evaluated the proposals based on:

- financial and performance capacity;
- experience with projects of similar scope;
- architectural design;
- compatibility with the existing neighborhood;
- green building practices; and
- marketing plan.

A total of 187 properties have been identified by 21 developers in the current phase of property allocation for this program.

Action/Recommendation: City staff recommends approval of the resolution

Alternative Recommendation: City Council may table and request additional information.

Time Sensitivity: N/A

Resolution Date: February 9, 2016

Budget Information: N/A

Local Preference Policy: NA

Recommended by Council Committee: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, on October 8, 2013, the City Council passed Resolution 1591-10-13 approving the administrative plan and local program guidelines for the fourth round of the Single Family New Construction Program (SFNC), and

WHEREAS, the guidelines adopted in the administrative plan for the Single Family New Construction (SFNC) program limited redevelopment sites to private and City owned lots within the Neighborhood Revitalization Area of the flood inundation area, and

WHEREAS, the City purchased property at 1766 Mallory Street SW through the Voluntary Property Acquisition Program using federal Community Development Block Grant (CDBG) dollars, and

WHEREAS, a public hearing was held on January 26, 2016, on the possible disposition of this property in accordance with Iowa Code; and

WHEREAS, the City Council has determined that the private investment made by the Developer to construct a single-family dwelling on City-owned property constitutes good, adequate, fair and valuable consideration for the property; and

WHEREAS, the City and Developer have come to mutual agreement as to the terms and conditions of the Development Agreement which is now ready for execution on behalf of the City;

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that on behalf of the City of Cedar Rapids, the City Manager and City Clerk are hereby authorized to execute the Development Agreement with Scallon Custom Homes, L.L.C.

BE IT FURTHER RESOLVED, that the City Manager and City Clerk are hereby authorized to execute a Special Warranty Deed effectuating the conveyance of property at 1766 Mallory Street SW to Scallon Custom Homes, L.L.C. in accordance with the Development Agreement and that the Resolution and Special Warranty Deed be recorded in the Office of the Linn County Recorder.

PASSED_DAY_TAG

LEG_PASSED_FAILED_TAG

MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG



Council Agenda Item Cover Sheet

Submitting Department: Purchasing

Presenter at Meeting: Jasmine Almoayed
E-mail Address: j.almoayed@cedar-rapids.org

Phone Number/Ext.: 5349

Alternate Contact Person: Diane Muench
E-mail Address: d.muench@cedar-rapids.org

Phone Number/Ext.: 5023

Description of Agenda Item: Purchases, contracts and agreements
 Contract with Brand Acceleration, Inc. for Strategic Marketing Services for the City Manager's Office for an amount not to exceed \$82,300.
 CIP/DID #PUR0915-056

EnvisionCR Element/Goal: InvestCR Goal 1: Expand economic development efforts to support business and workforce growth, market Cedar Rapids, and engage regional partners.

Background:

Purchasing Services solicited proposals on behalf of the City Manager's Office for a Consultant to perform strategic marketing services. Five proposals were received. An evaluation committee reviewed all five proposals and conducted web demonstrations with the top two companies. The evaluation committee ranked all the proposals and Brand Acceleration, Inc. was ranked first as the overall most responsive and responsible proposer.

Proposals received:

Company Name	Location	Price	Evaluation Score
Brand Acceleration, Inc.	Indianapolis	\$82,300	830
Ady Advantage	Madison, WI	\$89,125	700
Amperage	Cedar Rapids	\$107,080	
DeNovo Alternative Marketing	Cedar Rapids	\$24,700	
FusionFarm	Cedar Rapids	\$91,340	

Action/Recommendation: Authorize the City Manager and the City Clerk to execute the Contract as described herein.

Alternative Recommendation:

Time Sensitivity: medium

Resolution Date: February 9, 2016

Budget Information: 7957-795701-7957

Local Preference Policy: Yes

Explanation: The local companies did not score high enough to be awarded the project

Recommended by Council Committee: NA

Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, the City of Cedar Rapids Purchasing Services Division issued a Request for Proposal for Strategic Marketing Services on behalf of the City Manager's Office; and

WHEREAS, proposals were received from five Consultants; and

WHEREAS, an evaluation committee reviewed all five proposals and conducted web demonstrations with the top two companies and recommends that the contract be awarded to Brand Acceleration, Inc. as the highest ranked and overall most responsive and responsible proposer; and

WHEREAS, the not to exceed price is \$82,300 for this project, which is to be completed by June 30, 2016.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the City Manager and the City Clerk are authorized to execute the contract as described herein.

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LEG_PASSED_FAILED_TAG

MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG



Council Agenda Item Cover Sheet

Submitting Department: Finance - Purchasing

Presenter at Meeting: Kyle Breon
E-mail Address: k.breon@cedar-rapids.org

Phone Number/Ext.: 5851

Alternate Contact Person: Diane Muench
E-mail Address: d.muench@cedar-rapids.org

Phone Number/Ext.: 5023

Description of Agenda Item: Purchases, contracts and agreements
 Amendment No. 4 to the contract for Engineering Division Furniture with Triplett Interior Solutions to extend the term of the contract and to reflect the cost of additional furniture for an amount not to exceed \$2,002.79 (original contract amount was \$24,988; total contract amount with this amendment is \$77,268.81) (**FLOOD**).
 CIP/DID #0415-205

EnvisionCR Element/Goal: Routine business - EnvisionCR does not apply
--

Background: This resolution is for additional furniture and labor to install it in the Engineering Division at City Services Center. Due to the changes made, the completion date is also being extended to April 30, 2016.

Summary of Contract:

Original Contract	\$24,988.00	Signed by the CITY 04/24/2015
Amendment No. 1	\$16,068.58	Resolution No. 0666-05-15
Amendment No. 2	\$25,810.71	Resolution No. 1403-09-15
Amendment No. 3	\$8,398.73	Resolution No. 1698-12-15
Amendment No. 4	\$2,002.79	Pending
Total	\$77,268.81	Not to exceed, except by written amendment

Action/Recommendation: Authorize the City Manager and the City Clerk to execute Amendment No. 4 as described herein.

Alternative Recommendation: None

Time Sensitivity: Medium

Resolution Date: February 9, 2016

Budget Information: PWE004

Local Preference Policy: No
Explanation: FEMA funded project

Recommended by Council Committee: NA
Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, the City of Cedar Rapids and Triplett Interior Solutions are parties to a contract for furniture for the Engineering Division; and

WHEREAS, both parties have agreed to amend the contract to reflect additional furniture for an office between conference rooms 219 and 220 in the amount of \$2,002.79; and

WHEREAS, the contract completion date is being extended to April 30, 2016; and

WHEREAS a summary of the Contract is as follows:

Original Contract	Signed by the City 04/24/15	\$24,988.00
Amendment No. 1	Resolution No. 0666-05-15	\$16,068.58
Amendment No. 2	Resolution No. 1403-09-15	\$25,810.71
Amendment No. 3	Resolution No. 1698-12-15	\$8,398.73
Amendment No. 4	Pending	\$2,002.79
Total, not to exceed except by written amendment		\$77,268.81

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the City Manager and the City Clerk are authorized to execute Amendment No. 4 to amend the contract as described herein.

PASSED_DAY_TAG

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MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG



Council Agenda Item Cover Sheet

Submitting Department: Purchasing

Presenter at Meeting: Lisa Miller

Phone Number/Ext.: x5544

E-mail Address: l.miller@cedar-rapids.org

Alternate Contact Person: Rebecca Johnson

Phone Number/Ext.: x5062

E-mail Address: r.johnson2@cedar-rapids.org

Description of Agenda Item: Purchases, contracts and agreements

Contract with D & K Products for Turf Care Products for the Parks & Recreation Department for an annual amount not to exceed \$80,000.

CIP/DID #PUR1215-102A

<p>EnvisionCR Element/Goal: Routine business - EnvisionCR does not apply</p>

Background: Bids were solicited on behalf of the Parks & Recreation Department for as-needed purchases of turf care products with five (5) vendors responding. The turf care products are primarily for golf courses and parks but may be purchases by other departments if needed.

The Parks & Recreation Department is recommending award to D&K Products for the contract period of March 1, 2016 through February 28, 2017 for an annual amount not to exceed \$80,000. Due to market volatility these products are re-bid each year. Contracts have also been awarded to Pace Supply for an annual amount not to exceed \$6,000 and to SiteOne Landscape Supply for an annual amount not to exceed \$25,000.

Bids were submitted by the following vendors, in alphabetical order. Exact bid amounts cannot be determined due to indefinite quantities and each vendor bidding a different mix of products. Award recommendation was determined item-by-item in the manner that is anticipated to provide the best value for the City.

D & K Products – Des Moines, IA

Floratine Central Turf Products – Papillion, NE

Pace Supply – Fairfax, IA

River City Turf & Ornamental – Silvis, IL

SiteOne Landscape Supply – Cleveland, OH (with location in Cedar Rapids)

Action/Recommendation: Authorize the City Manager and the City Clerk to execute the Contract as described herein.

Alternative Recommendation:

Time Sensitivity: Normal

Resolution Date: February 9, 2016

Budget Information: Turf care products are included in the operating budgets for the Golf and Parks Divisions.

Local Preference Policy: Yes

Explanation: Local preference applies and affects the award for several line items but has no significant impact on the total expenditure.

Recommended by Council Committee: NA

Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, the City of Cedar Rapids Purchasing Services Division issued a Request for Bid for the as-needed purchase of Turf Care Products on behalf of the Parks & Recreation Department; and

WHEREAS, bids were received from five Vendors; and

WHEREAS, the Parks & Recreation Department recommends that a contract be awarded to D & K Products as the lowest responsive and responsible bidder for an annual amount not to exceed \$80,000; and

WHEREAS, a one-year contract has been prepared for the contract period March 1, 2016 through February 28, 2017.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the City Manager and the City Clerk are authorized to execute the contract as described herein.

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MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG



Council Agenda Item Cover Sheet

Submitting Department: Purchasing

Presenter at Meeting: Steve Krug
E-mail Address: s.krug@cedar-rapids.org

Phone Number/Ext.: 5740

Alternate Contact Person: Heather Mell
E-mail Address: h.mell@cedar-rapids.org

Phone Number/Ext.: 5117

Description of Agenda Item: Purchases, contracts and agreements
 Parks and Recreation Department purchase of one Noelridge Lagoon Pavilion from All Inclusive Rec in the amount of \$59,830.50.
 CIP/DID #PUR1215-105

EnvisionCR Element/Goal: Routine business - EnvisionCR does not apply
--

Background: Purchasing Services solicited bids on behalf of the Parks and Recreation Department for the purchase and delivery of one Noelridge Lagoon Pavilion with 4 vendors responding. All Inclusive Rec was the lowest bidder with their total bid of \$59,830.50

Bids were received from:

All Inclusive Rec	Farmington, MO	\$59,830.50
Boland Recreation	Marshalltown, IA	\$73,669.00
ABCreative	Grimes, IA	\$77,625.00
Cunningham Recreation	Charlotte, NC	\$83,764.00

Action/Recommendation: Authorize the Parks and Recreation Department to purchase the Pavilion as described herein.

Alternative Recommendation:

Time Sensitivity: low

Resolution Date: February 9, 2016

Budget Information: 30745-307-307000

Local Preference Policy: Yes

Explanation: No local companies submitted a bid.

Recommended by Council Committee: NA

Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, the City of Cedar Rapids Purchasing Services Division issued a Request for Bid for the purchase and delivery of a Pavilion for the Noelridge Lagoon on behalf of the Parks and Recreation Department; and

WHEREAS, bids were received from four Vendors; and

WHEREAS, the Parks and Recreation Department recommends that this bid be awarded to All Inclusive Rec as the overall lowest responsive and responsible bidder, in the amount of \$59,830.50.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the Parks and Recreation Department is authorized to purchase the Pavilion as described herein.

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MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG



Council Agenda Item Cover Sheet

Submitting Department: Purchasing

Presenter at Meeting: Todd Fagan

Phone Number/Ext.: 5616

E-mail Address: t.fagan@cedar-rapids.org

Alternate Contact Person: Sven Leff

Phone Number/Ext.: 5739

E-mail Address: s.leff@cedar-rapids.org

Description of Agenda Item: CONSENT AGENDA

Contract with ArborPro, Inc for Tree Inventory Services for the Parks and Recreation Department for an amount not to exceed \$189,000.

CIP/DID #PUR1115-092

EnvisionCR Element/Goal: GreenCR Goal 1: Be stewards for the environment, promoting economic and social growth while restoring the relationship between the city and the natural environment.

Background:

The City has determined that a comprehensive tree inventory is essential to the City's on-going effort to proactively manage trees, thereby minimizing the effects of future storm damage and assuring the community has a healthy, sustainable urban tree canopy. The goals of this project are:

- a. Locate, assess, and inventory all publicly maintained street trees located within the limits of Cedar Rapids.
- b. Record critical tree attributes by professional and skilled arborists.

The contract amount of \$189,000 is for up to 70,000 trees. If the number of trees exceeds 70,000, the unit price per tree is \$3.15 each.

Proposals were received from five companies and the proposal from ArborPro, Inc was ranked the highest by the evaluation committee.

	Company Name	City , State	Price	Completion Date	Evaluation Points
1.	Arbor Pro, Inc.	Yorba Linda, CA	\$189,000	10-15-16	1,000
2.	Davey Resource Group	Kent, OH	\$ 219,000	08-20-16	900
3.	Community Forestry Consultants	Spokane, WA	\$ 173,000	09-16-16	570
4.	Copper Tree Consulting	Pleasant Hill, IA	\$ 316,400	10-31-16	530
5.	YTS	Rogers, MN	\$445,005	12-31-16	100

Action/Recommendation: Authorize the City Manager and the City Clerk to execute the Contract as described herein.

Alternative Recommendation: none

Time Sensitivity: medium

Resolution Date: 02-09-16

Budget Information: 309098

Local Preference Policy: (Click here to select)

Explanation: NA

Recommended by Council Committee: (Click here to select)

Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, the City of Cedar Rapids Purchasing Services Division issued a Request for Proposal for Tree Inventory Services on behalf of the Parks and Recreation Department; and

WHEREAS, proposals were received from five Consultants; and

WHEREAS, a committee has carefully evaluated and ranked each proposal based on the evaluation criteria and recommends that the contract be awarded to ArborPro, Inc. of Yorba Linda, CA in the amount of \$ 189,000; and

WHEREAS, a contract has been prepared for the contract period of February 10, 2016 through October 15, 2016.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the City Manager and the City Clerk are authorized to execute the contract as described herein.

PASSED_DAY_TAG

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MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG



Council Agenda Item Cover Sheet

Submitting Department: Purchasing

Presenter at Meeting: Mark Jones
E-mail Address: m.jones@cedar-rapids.org

Phone Number/Ext.: 5897

Alternate Contact Person: Heather Mell
E-mail Address: h.mell@cedar-rapids.org

Phone Number/Ext.: 5117

Description of Agenda Item: Purchases, contracts and agreements
 Amendment No. 3 to the Contract with Greg's Lawn and Landscaping for Mowing Services for City Weed Ordinance for the Solid Waste Division to reflect an increase in the volume of services for an amount not to exceed \$40,000 (original contract amount was \$30,000; total contract amount with this amendment is \$135,000).
 CIP/DID #0415-209

EnvisionCR Element/Goal: Routine business - EnvisionCR does not apply
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Background: The City entered into a contract with Greg's Lawn and Landscaping to provide mowing services of private properties within the City limits that are in violation of the City Weed Ordinance. An additional \$40,000 is being added to the contract to reflect an increase in the volume of services.

Action/Recommendation: Authorize the City Manager and the City Clerk to execute Amendment No. 3 as described herein.

Alternative Recommendation:

Time Sensitivity: medium

Resolution Date: February 9, 2016

Budget Information: 531108-641-641000

Local Preference Policy: (Click here to select)
Explanation: NA

Recommended by Council Committee: NA
Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, the City of Cedar Rapids and Greg's Lawn and Landscaping are parties to a contract for mowing services for private properties within the City limits that are in violation of the City Weed Ordinance; and

WHEREAS, both parties have agreed to amend the contract to reflect an increase in volume of services in the amount of \$40,000; and

WHEREAS, the annual not to exceed amount shall increase from \$95,000 to \$135,000; and

WHEREAS, the history of the contract to date is as follows:

Original Contract	Resolution No. 0671-05-15	05/15/2015 to 01/31/2016	\$30,000
Amendment No. 1 Increase in services	Resolution No. 1185-08-15	Effective 07/01/2015	\$30,000
Amendment No. 2 Increase in services	Resolution No. 1503-10-15	Effective 10/01/2015	\$35,000
Amendment No. 3 Increase in services	Pending	Effective 02/09/2016	\$40,000
TOTAL, NOT TO EXCEED			\$135,000

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the City Manager and the City Clerk are authorized to execute Amendment No. 2 to amend the contract as described herein.

PASSED_DAY_TAG

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MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG



Council Agenda Item Cover Sheet

Submitting Department: Purchasing

Presenter at Meeting: John Witt
E-mail Address: j.witt@cedar-rapids.org

Phone Number/Ext.: 5800

Alternate Contact Person: Heather Mell
E-mail Address: h.mell@cedar-rapids.org

Phone Number/Ext.: 5117

Description of Agenda Item: Purchases, contracts and agreements
 Amendment No. 2 to renew contract with Sensys Networks, Inc. for Sensys Equipment for the Traffic Engineering Division for an annual amount not to exceed \$100,000 (original contract amount was \$50,000; renewal contract amount is \$100,000).
 CIP/DID #1013-081

EnvisionCR Element/Goal: Routine business - EnvisionCR does not apply

Background:

Purchasing Services solicited sole source pricing from Sensys Networks, Inc for the purchase and delivery of Sensys Equipment.

The original contract period was February 1, 2014 through January 31, 2015. The renewal contract period is February 1, 2016 through January 31, 2017. The contract may be renewed for additional one0year time periods by mutual agreement.

Action/Recommendation: Authorize the City Manager and the City Clerk to execute the Amendment No. 2 as described herein.

Alternative Recommendation:

Time Sensitivity: low

Resolution Date: February 9, 2016

Budget Information: Purchases will be approved CIP construction projects.

Local Preference Policy: Yes

Explanation: There are no local suppliers of Sensys Equipment

Recommended by Council Committee: NA

Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, the City of Cedar Rapids and Sensys Networks, Inc. are parties to a contract for the annual as-needed purchase of Sensys Equipment for the Traffic Engineering Division; and

WHEREAS, both parties have agreed to renew the contract for an additional one-year period for an annual amount not to exceed \$100,000; and

WHEREAS, a summary of the contract is as follows:

Original Contract	Resolution No. 0129-01-14	02/01/2014 to 01/31/2015
Amendment No. 1 (contract renewal)	Resolution No. 0137-01-15	02/01/2015 to 01/31/2016
Amendment No. 2 (contract renewal)	Pending	02/01/2016 to 01/31/2017

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the City Manager and the City Clerk are authorized to execute Amendment No. 2 to renew the contract as described herein.

PASSED_DAY_TAG

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MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG



Council Agenda Item Cover Sheet

Submitting Department: Purchasing

Presenter at Meeting: Steve Hershner
E-mail Address: stevehe@cedar-rapids.org

Phone Number/Ext.: x5281

Alternate Contact Person: Rebecca Johnson
E-mail Address: r.johnson2@cedar-rapids.org

Phone Number/Ext.: x5062

Description of Agenda Item: Purchases, contracts and agreements
 Amendment No. 1 to Contract with Schimberg Co. for Water System Pipe, Hydrants, Valves, Fittings & Service Materials for the Water Division for an additional amount not to exceed \$225,000 (original contract amount was \$500,000; total contract amount with this amendment is \$725,000).
 CIP/DID #0115-151C

EnvisionCR Element/Goal: Routine business - EnvisionCR does not apply
--

Background: Bids were solicited in 2015 for the purchase and delivery of water system pipe, hydrants, valves, fittings and services materials with eight (8) vendors responding. One of the four contracts awarded was to Schimberg Co. for the period of April 15, 2015 through April 14, 2016 for an estimated annual amount not to exceed \$500,000.

The volume of purchases from Schimberg Co. under this contract will exceed what was initially anticipated due to material needs related to Paving for Progress. Amendment No. 1 increases the total annual not-to-exceed amount of the Contract by \$225,000, from \$500,000 to \$725,000.

History of Contract to Date:

Description	Amount	Authorization	Dates
Initial Term of Contract	\$500,000	Resolution No. 0539-04-15	04/15/2015–04/14/2016
Amendment No. 1 to increase Amt	\$225,000	Resolution Pending	Effective 01/28/2016
Annual Total	\$725,000	Not to exceed, except by written amendment	

Action/Recommendation: Authorize the City Manager and the City Clerk to execute Amendment No. 1 as described herein.

Alternative Recommendation:

Time Sensitivity: High – immediate needs exceed the original contract amount

Resolution Date: February 9, 2016

Budget Information: Operating budgets for water distribution and service

Local Preference Policy: Yes

Explanation: Local preference was applied at time of award on a category by category basis with minimal impact to final award. Schimberg Co. is a certified local business.

Recommended by Council Committee: NA

Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, the City of Cedar Rapids and Schimberg Co. are parties to a contract for the annual as-needed purchase of Water System Pipe, Hydrants, Valves, Fittings & Service Materials for the Water Division; and

WHEREAS, both parties have agreed to amend the contract to reflect an increase in volume of purchases that exceed the estimated original amount in the amount of \$225,000; and

WHEREAS, the annual not to exceed amount for this contract period (04/15/2015 – 04/14/2016) shall increase from \$500,000 to \$725,000; and

WHEREAS, the history of the contract to date is as follows:

Description	Amount	Authorization	Dates
Initial Term of Contract	\$500,000	Resolution No. 0539-04-15	04/15/2015–04/14/2016
Amendment No. 1 to increase Amt	\$225,000	Resolution Pending	Effective 01/28/2016
Annual Total	\$725,000	Not to exceed, except by written amendment	

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the City Manager and the City Clerk are authorized to execute Amendment No. 1 to amend the contract as described herein.

PASSED_DAY_TAG

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MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG



Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at meeting: Doug Wilson, PE
E-mail Address: d.wilson@cedar-rapids.org

Phone Number/Extension: 5141

Alternate Contact Person: Lee Tippe, PE
E-mail Address: leet@cedar-rapids.org

Phone Number/Extension: 5816

Description of Agenda Item: Purchases, contracts and agreements
 Resolution authorizing execution of a Professional Services Agreement with Ament Design for an amount not to exceed \$60,334 for design services in connection with the Center Point Road NE from 32nd Street to 29th Street Roadway Rehabilitation project (**Paving for Progress**).
 CIP/DID #3012148-02

EnvisionCR Element/Goal: ConnectCR Goal 4: Improve the function and appearance of our key corridors.

Background: The City seeks to efficiently improve the pavement service life of Center Point Road NE from 32nd Street NE to 29th Street NE.

Action/Recommendation: The Public Works Department recommends adopting the resolution authorizing execution of a Professional Services Agreement with Ament Design.

Alternative Recommendation: The City of Cedar Rapids does not currently have the staff resources to design this project internally. The alternatives are to delay a project City staff is currently designing or delay the project until City Staff has the resources available to proceed with design.

Time Sensitivity: Normal

Resolution Date: February 9, 2016

Budget Information: 301/301000/3012148 (SLOST)

Local Preference Policy: NA
Explanation: NA

Recommended by Council Committee: NA
Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, the City Engineer has determined it is in the best interest of the City to outsource some professional services relating to the project below, and

WHEREAS, the City Engineer has determined Ament Design is qualified to provide those services and they are able to perform those services in a timely manner for an amount not to exceed \$60,334, and

WHEREAS, the City Engineer recommends the City enter into Contract No. 3012148-02 with the firm noted herein, and

WHEREAS, the City Council has allocated funds and planned for the Center Point Road NE from 32nd Street to 29th Street Roadway Rehabilitation project, and

Fund 301, Dept ID 301000, Project 3012148 SLOST \$60,334

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the City Manager and City Clerk are hereby authorized to execute the contract for the services noted herein.

PASSED_DAY_TAG

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MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG





Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at meeting: Nate Kampman
E-mail Address: n.kampman@cedar-rapids.org

Phone Number/Extension: 5628

Alternate Contact Person: Gary Petersen, PE
E-mail Address: g.petersen@cedar-rapids.org

Phone Number/Extension: 5153

Description of Agenda Item: Purchases, contracts and agreements
 Resolution authorizing execution of Amendment No. 1 to the Professional Services Agreement with Anderson-Bogert Engineers & Surveyors, Inc. specifying an increased amount not to exceed \$38,862 for professional services in connection with the First Avenue East from 27th Street to 40th Street Utilities Rehabilitation project (original contract amount was \$305,460; total contract amount with this amendment is \$344,322).
 CIP/DID #301240-03

EnvisionCR Element/Goal: ProtectCR Goal 1: Protect Cedar Rapids from flooding and other hazards.

Background: The purpose of this amendment is to evaluate the sanitary sewer sub-basin currently providing flows to the 12-inch sanitary sewer located beneath the intersection of First Avenue East and 29th Street. Based upon the evaluation, the goal is to eliminate the thirty-foot deep sanitary sewer located under First Avenue and redirect flows toward Indian Creek and away from the surcharging of the existing sanitary sewer at B Avenue NE.

Verbal authorization to proceed with Immediate Needs Services was given by the Project Manager for the purpose of avoiding a situation where inaction could result in unacceptable consequences which may substantially affect the life, health, or safety of the citizens and employees, or cause damage to City property.

Action/Recommendation: The Public Works Department recommends adoption of the resolution authorizing execution of Amendment No. 1 of the Professional Services Agreement with Anderson-Bogert Engineers & Surveyors, Inc. specifying an increased amount not to exceed \$38,862.

Alternative Recommendation: The City of Cedar Rapids does not currently have the staff resources to design this project internally. The alternatives are to delay a project City staff is currently designing, or delay the project until City Staff has the resources available to proceed with design.

Time Sensitivity: Normal

Resolution Date: February 9, 2016

Budget Information: CIP No. 655939, NA

Local Preference Policy: NA
Explanation: NA

Recommended by Council Committee: NA
Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, the City Engineer has determined it is in the best interest of the City to outsource some professional services relating to the project below, and

WHEREAS, the City desires to modify the project scope to evaluate the sanitary sewer sub-basin currently providing flows to the 12-inch sanitary sewer located beneath the intersection of First Avenue East and 29th Street, and

WHEREAS, based upon the evaluation, the goal is to eliminate the thirty-foot deep sanitary sewer located under First Avenue and redirect flows toward Indian Creek and away from the surcharging of the existing sanitary sewer at B Avenue NE,

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the City Manager and City Clerk are authorized to sign Amendment No. 1 to the engineering consultant agreement with Anderson-Bogert Engineers & Surveyors, Inc. in the amount of \$38,862 for the First Avenue East from 27th Street to 40th Street Utilities Rehabilitation 301240-03. A summary of the contract amendments for this contract is as follows:

Original Contract Amount:	\$305,460
Amendment No. 1	\$38,862

Amended Contract Amount	\$344,322

General ledger coding for this amendment to be as follows:

Fund 655, Dept ID 655000, Project 655939, NA	\$ 38,862
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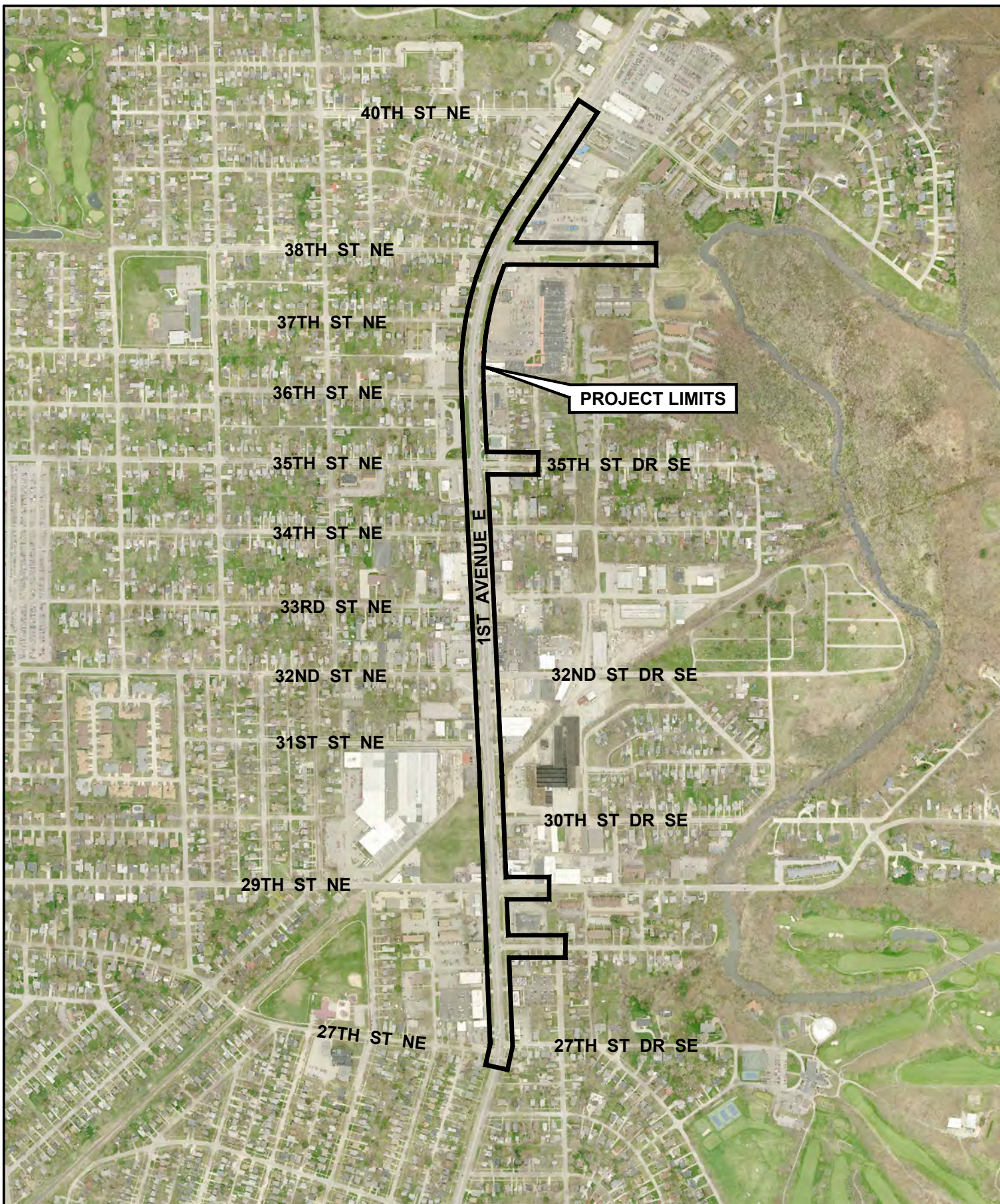
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MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG





Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at meeting: Dave Wallace, PE
E-mail Address: d.wallace@cedar-rapids.org

Phone Number/Extension: 5814

Alternate Contact Person: Loren Snell
E-mail Address: l.snell@cedar-rapids.org

Phone Number/Extension: 5804

Description of Agenda Item: CONSENT AGENDA

Resolution authorizing execution of Amendment No. 1 to the Professional Services Agreement with Anderson-Bogert Engineers & Surveyors, Inc. specifying an increased amount not to exceed \$8,936.25 to amend the scope of services and the schedule in connection with the Stickle Drive NE, Sanitary Sewer Extension Phase II project (original contract price was \$62,953.50; total contract price with this amendment is \$71,889.75).
 CIP/DID #655933-01

EnvisionCR Element/Goal: ProtectCR Goal 3: Maintain and provide quality services to the community.

Background: Sanitary sewer from Stickle Drive NE currently runs through the Quaker Oats Site (PepsiCo). This project will reroute flow from the 8-inch main in Stickle Drive away from the flood-protected Quaker Oats site to 4th Street NE.

This amendment is to increase the geotechnical scope to include additional geotechnical investigation on a second proposed alignment provided by the City. Geotechnical work to include: permitting with railroad, subsurface exploration, laboratory analysis, report preparation, survey and submittal. The amendment also extends the performance period to December 31, 2017.

Action / Recommendation: The Public Works Department recommends adopting the resolution authorizing execution of a Professional Services Agreement with Anderson-Bogert Engineers & Surveyors, Inc.

Alternative Recommendation: Alternative includes not approving the amendment and possibly abandoning the project.

Time Sensitivity: Normal

Resolution Date: February 9, 2016

Budget Information: 655/655000/6559903

Local Preference Policy: NA
Explanation: NA

Recommended by Council Committee: NA

Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, the City Engineer has determined it is in the best interest of the City to amend the scope of services and the schedule relating to the project below, and

WHEREAS, the City desires to modify the project scope to include additional geotechnical investigation on a second proposed alignment provided by the City, and

WHEREAS, geotechnical work to include; permitting with railroad, subsurface exploration, laboratory analysis, report preparation, survey and submittal, and

WHEREAS, the City desires to modify the schedule to extend the performance period to December 31, 2017,

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the City Manager and City Clerk are authorized to sign Amendment No. 1 to the engineering consultant agreement with Anderson-Bogert, Engineers & Surveyors, Inc. in the amount of \$8,936.25 for the Stickle Drive NE, Sanitary Sewer Extension Phase II 655933-01. A summary of the contract amendments for this contract is as follows:

Original Contract Amount:	\$62,953.50
Amendment No. 1	\$ 8,936.25

Amended Contract Amount	\$71,889.75

General ledger coding for this amendment to be as follows:

Fund 655, Dept ID 655000 Project 655933-01	\$8,936.25
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MayorSignature

Attest:

ClerkSignature

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Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at meeting: Pat Wieneke

Phone Number/Extension: 5848

E-mail Address: p.wieneke@cedar-rapids.org

Alternate Contact Person: Russell Betts, PE

Phone Number/Extension: 5847

E-mail Address: r.betts@cedar-rapids.org

Description of Agenda Item: Purchases, contracts and agreements

Authorizing Change Order No. 3 (Revised) in the amount of \$66,854.50 plus one additional working day, with L.L. Pelling Company, Inc. for the 1st Avenue E from approximately 325 feet south of 34th Street NE to 40th Street NE HMA Resurfacing Phase 1 project (original contract amount was \$3,214,451.79; total contract amount with this amendment is \$3,322,631.09).

CIP/DID #301240-06

EnvisionCR Element/Goal: ProtectCR Goal 3: Maintain and provide quality services to the community.

Background: This is a contract change order to adjust the contract price based on the actual quantities of completed work and additional work based on contractor quotes reviewed and accepted base on the scope of work. The unit prices remain the same as originally bid and the contract price is adjusted in accordance with the provisions specified in the terms and conditions. Emergency repair of sanitary sewer including televising of completed work at Sta. 45+25-22 ft. left, cracked sanitary sewer pipe running through storm sewer pipe was leaking raw sewage into storm sewer and was creating a sink hole under the 1st Ave paving. Water main had to be looped below the storm sewer on 35th St at Sta. 902+45-10 ft right, storm sewer flow line at same elevation as water main. Water main had to be looped below the storm sewer to provide sufficient cover to prevent freezing.

Action/Recommendation: The Public Works Department recommends approval of Change Order No. 3 Revised submitted by L.L. Pelling Company, Inc.

Alternative Recommendation: If Council does not approve the change order, payments due to the Contractor will accrue interest until approval of the Change Order occurs and payment is made.

Time Sensitivity: Normal

Resolution Date: February 9, 2016

Budget Information (if applicable):

CIP No. 301240 (Streets).....25,765

CIP No. 301240 (Paving for Progress).....852,405 *

CIP No. 306022 (Traffic Signals)58,500

STP Federal-Aid Grant (Streets & Signals).....	1,577,487
Iowa DOT 3R Grant (Streets).....	972,347
CIP No. 625884 (Water).....	157,192
CIP No. 655939 (Sanitary Sewer).....	138,200
Construction Estimate	3,781,896
Construction Contingency	373,200
Construction Budget (Rounded).....	4,155,100

* Includes Preliminary Assessment of \$29,400
for Curb and Gutter Improvements on 35th Street
Drive SE from 1st Avenue to Elm Avenue.

Local Preference Policy: Applies ☐ Exempt ☒

Explanation: Project funding is through the federal-aid Surface Transportation Program (STP) and local preference is not allowed.

Recommended by Council Committee: Yes ☒ No ☐ N/A ☐

Explanation (if necessary): Project updates provided to Infrastructure Committee

RESOLUTION NO. LEG_NUM_TAG

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the City Manager is authorized to sign Change Order No. 3 (Revised) in the amount of \$66,854.50 with L.L. Pelling Company, Inc. for the 1st Avenue E from approximately 325 feet south of 34th Street NE to 40th Street NE HMA Resurfacing Phase 1 project, Contract No. 301240-06. A cost summary of the contract changes for this project is as follows:

Original Contract Amount	\$3,192,701.79
Possible Incentive	21,750.00
Change Order No. 1	1,680.00
Change Order No. 2	39,644.80
Change Order No. 3	66,854.50
	<hr/>
Amended Contract Amount	\$3,322,631.09

General ledger coding for this Change Order to be as follows: \$66,854.50; \$529.30 301-301000-30185-301240, \$51,343.29 301-301000-7970-301240, \$3,950 625-625000-6250024-6253011022, \$11,031.91 655-655000-65585-655939

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MayorSignature

Attest:

ClerkSignature

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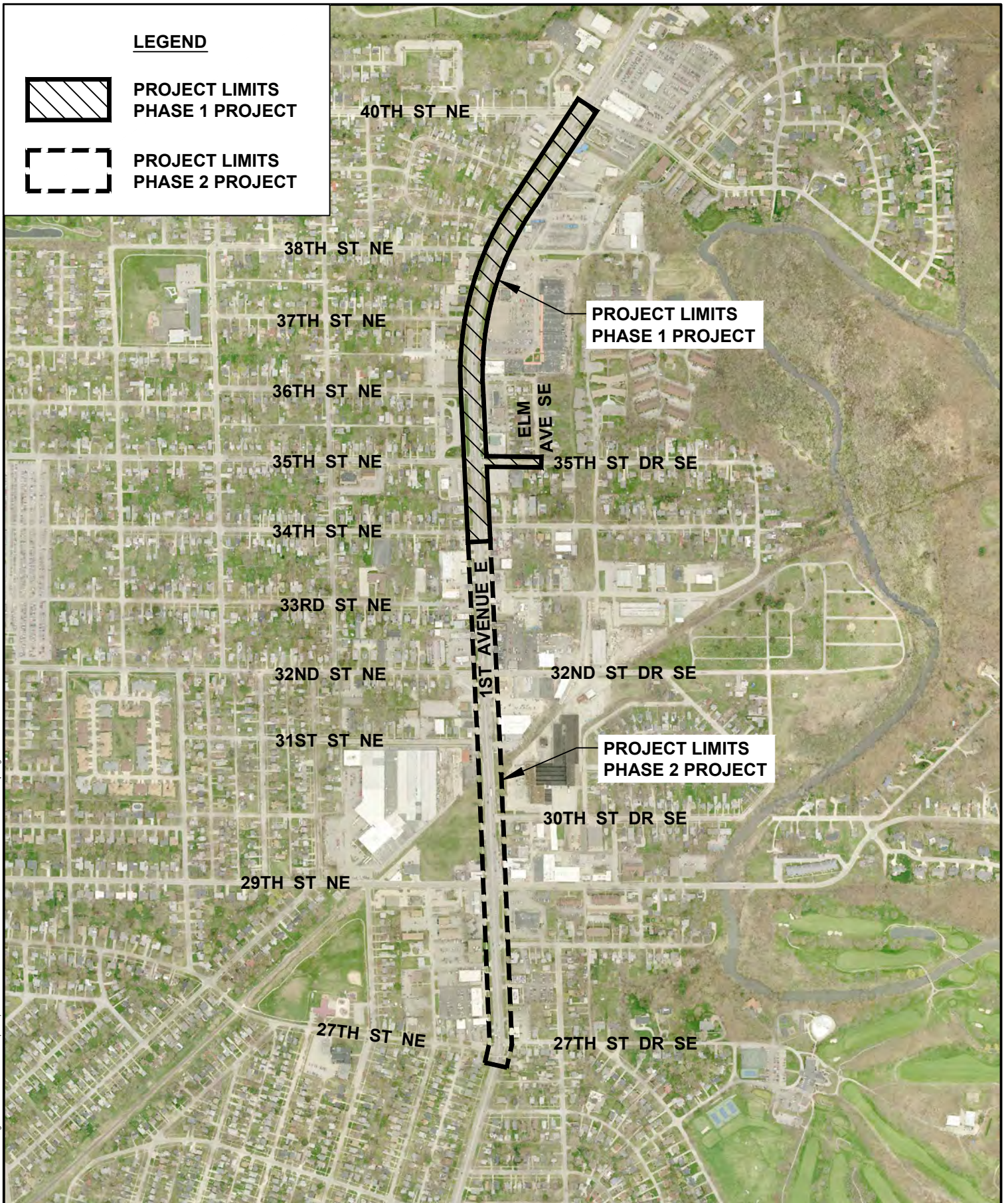
LEGEND



**PROJECT LIMITS
PHASE 1 PROJECT**



**PROJECT LIMITS
PHASE 2 PROJECT**





Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at meeting: Pat Wieneke

Phone Number/Extension: 5848

E-mail Address: p.wieneke@cedar-rapids.org

Alternate Contact Person: Jason Junk

Phone Number/Extension: 5724

E-mail Address: j.junk@cedar-rapids.org

Description of Agenda Item: Purchases, contracts and agreements

Authorizing Change Order No. 5 in the amount of \$4,058.10 with L.L. Pelling Company, Inc. for the 7th Street SE and 8th Street SE Roadway Rehabilitation from A Avenue NE to 12th Avenue SE project (original contract amount was \$1,346,955.75; total contract amount with this amendment is \$1,493,570.91) **(Paving for Progress)**.

CIP/DID #3012111-02

EnvisionCR Element/Goal: StrengthenCR Goal 2: Improve the quality and identity of neighborhoods and key corridors.

Background: This is a contract change order to adjust the contract price based on the actual quantities of completed work. The unit prices remain the same as originally bid and the contract price is adjusted in accordance with the provisions specified in the terms and conditions.

Action/Recommendation: The Public Works Department recommends approval of Change Order No. 5 submitted by L.L. Pelling Company, Inc.

Alternative Recommendation: If Council does not approve the change order, payments due to the Contractor will accrue interest until approval of the Change Order occurs and payment is made.

Time Sensitivity: Normal

Resolution Date: February 9, 2016

Budget Information: CIPs 3012111 (SLOST), 65500

Local Preference Policy: NA

Explanation: NA

Recommended by Council Committee: NA

Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the City Manager is authorized to sign Change Order No. 5 in the amount of \$4,058.10 with L.L. Pelling Company for the 7th Street SE and 8th Street SE Roadway Rehabilitation from A Avenue NE to 12th Avenue SE, Contract No. 3012111-02. A cost summary of the contract changes for this project is as follows:

Original Contract Amount	\$1,316,955.75
Original Incentive Value	30,000.00
Change Order No. 1	22,897.48
Change Order No. 2	24,473.90
Change Order No. 3	50,378.76
Change Order No. 4	44,806.92
Change Order No. 5	<u>4,058.10</u>
Amended Contract Amount	\$1,493,570.91

General ledger coding for this Change Order to be as follows: \$4,058.10 301-301000-7970-3012111

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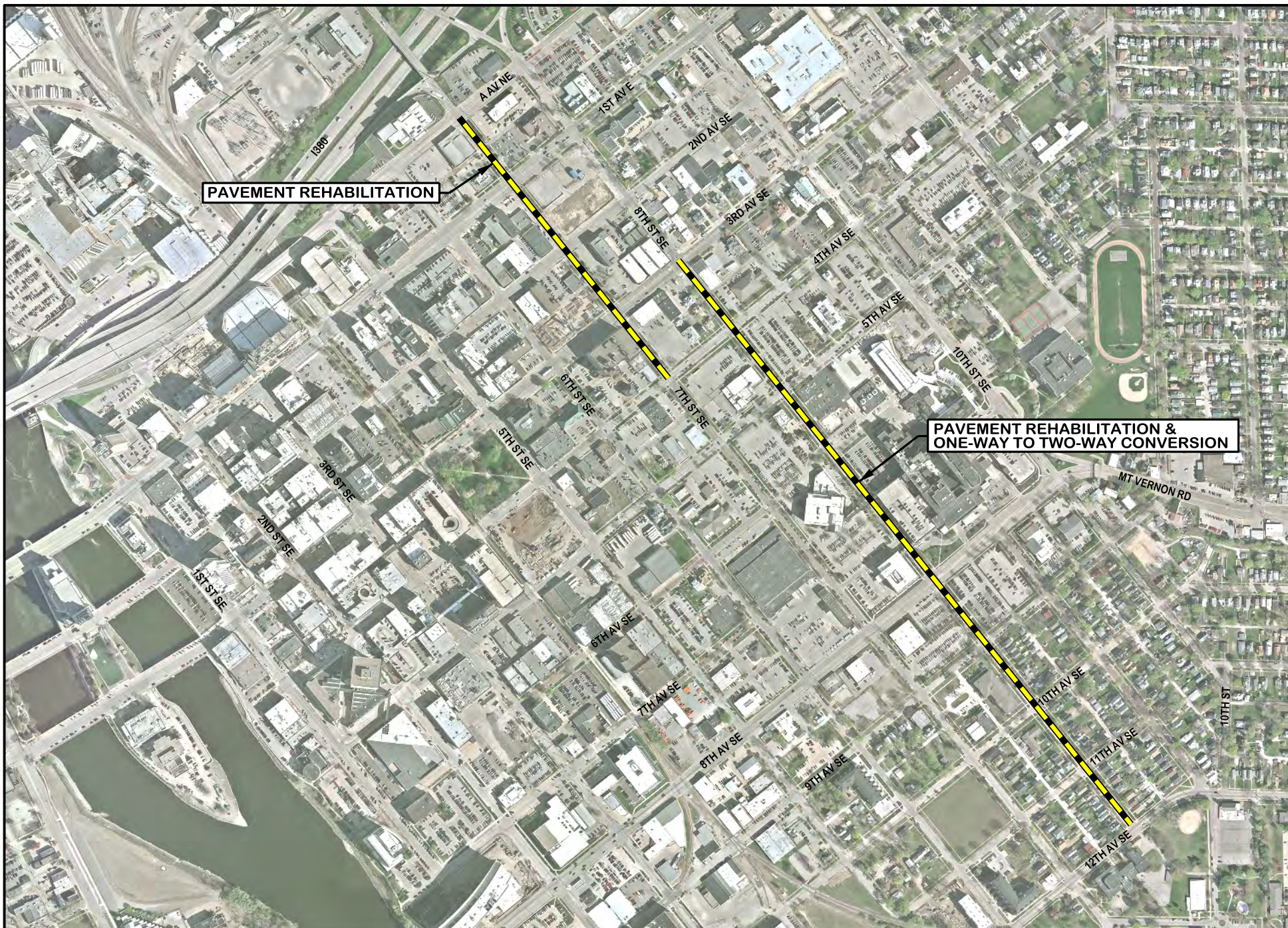
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MayorSignature

Attest:

ClerkSignature

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Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at meeting: Pat Wieneke
E-mail Address: p.wieneke@cedar-rapids.org

Phone Number/Extension: 5848

Alternate Contact Person: Loren Snell, PE
E-mail Address: l.snell@cedar-rapids.org

Phone Number/Extension: 5804

Description of Agenda Item: Purchases, contracts and agreements
 Authorizing Change Order No. 4 Revised Final (2) deducting the amount of \$63,528.14 with Rathje Construction Co. for the 16th Avenue SW (400-Ft East of 23rd Street to Williams Blvd SW) Water Main Rehabilitation project (original contract amount was \$609,805; total contract amount with this amendment is \$582,965.36).
 CIP/DID #2011061-02

EnvisionCR Element/Goal: StrengthenCR Goal 2: Improve the quality and identity of neighborhoods and key corridors.

Background: This is a contract change order to adjust the contract price based on the actual quantities of completed work and additional work based on contractor quotes reviewed and accepted base on the scope of work. The unit prices remain the same as originally bid and the contract price is adjusted in accordance with the provisions specified in the terms and conditions.

Action/Recommendation: The Public Works Department recommends approval of Change Order No. 4 Revised Final (2) submitted by Rathje Construction Co.

Alternative Recommendation: If Council does not approve the change order, payments due to the Contractor will accrue interest until approval of the Change Order occurs and payment is made.

Time Sensitivity: Normal

Resolution Date: February 9, 2016

Budget Information: Water Dept 625884

Local Preference Policy: NA
Explanation:

Recommended by Council Committee: (Click here to select)
Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the City Manager is authorized to sign Change Order No. 4 Revised Final (2) deducting the amount of \$63,528.14 with Rathje Construction Co. for the 16th Avenue SW (400-Ft East of 23rd Street to Williams Blvd SW) Water Main Rehabilitation, Contract No. 2011061-02. A cost summary of the contract changes for this project is as follows:

Original Contract Amount	\$609,805.00
Change Order No. 1	1,400.00
Change Order No. 2	9,588.50
Change Order No. 3	25,700.00
Change Order No. 4 Revised Final (2)	<u>-63,528.14</u>
Amended Contract Amount	\$582,965.36

General ledger coding for this Change Order to be as follows: \$(63,528.14); \$(53,116.10) 625-625000-625884-6252011061, \$(10,412.04) 301-301000-30185-3012074

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MayorSignature

Attest:

ClerkSignature

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Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at meeting: Pat Wieneke

Phone Number/Extension: 5848

E-mail Address: p.wieneke@cedar-rapids.org

Alternate Contact Person: Loren Snell, PE

Phone Number/Extension: 5804

E-mail Address: l.snell@cedar-rapids.org

Description of Agenda Item: Purchases, contracts and agreements

Authorizing Change Order No. 8 (Final Revised) deducting the amount of \$101,381.09 with Dave Schmitt Construction Co., Inc. for the NE Quadrant, 2008 Flood, Sanitary Sewer Repairs, Phase 2, Bid Package 1 project (original contract amount was \$874,227.25; total contract amount with this amendment is \$854,840.85) **(Flood)**.

CIP/DID #SSD102-05

EnvisionCR Element/Goal: ProtectCR Goal 1: Protect Cedar Rapids from flooding and other hazards.

Background: This is a contract change order to adjust the contract price based on the actual quantities of completed work. The unit prices remain the same as originally bid and the contract price is adjusted in accordance with the provisions specified in the terms and conditions.

Action/Recommendation: The Public Works Department recommends approval of Change Order No. 8 Final Revised submitted by Dave Schmitt Construction Co., Inc.

Alternative Recommendation: If Council does not approve the change order, payments due to the Contractor will accrue interest until approval of the Change Order occurs and payment is made.

Time Sensitivity: Normal

Resolution Date: February 9, 2016

Budget Information: FEMA PW #SSD102 FLOOD

Local Preference Policy: NA

Explanation: NA

Recommended by Council Committee: NA

Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the City Manager is authorized to sign Change Order No. 8 (Final Revised) deducting the amount of \$101,381.09 with Dave Schmitt Construction Co., Inc. for the NE Quadrant, 2008 Flood, Sanitary Sewer Repairs, Phase 2, Bid Package 1 project, Contract No. SSD102-05. A cost summary of the contract changes for this project is as follows:

Original Contract Amount	\$841,227.25
Possible Incentive Value	33,000.00
Change Order No. 1	4,262.17
Change Order No. 2	3,095.25
Change Order No. 3	1,855.71
Change Order No. 4	9,890.65
Change Order No. 5	32,913.08
Change Order No. 6	15,584.54
Change Order No. 7	31,893.29
Change Order No. 8 Final Revised	-101,381.09
Removal of Original Incentive	-13,000.00
Additional Disincentive and/or Liquidated Damages	-4,500.00
Amended Contract Amount	<u>\$854,840.85</u>

General ledger coding for this Change Order to be as follows: \$-101,381.09 330-330210-18511-SSD102 FLOOD

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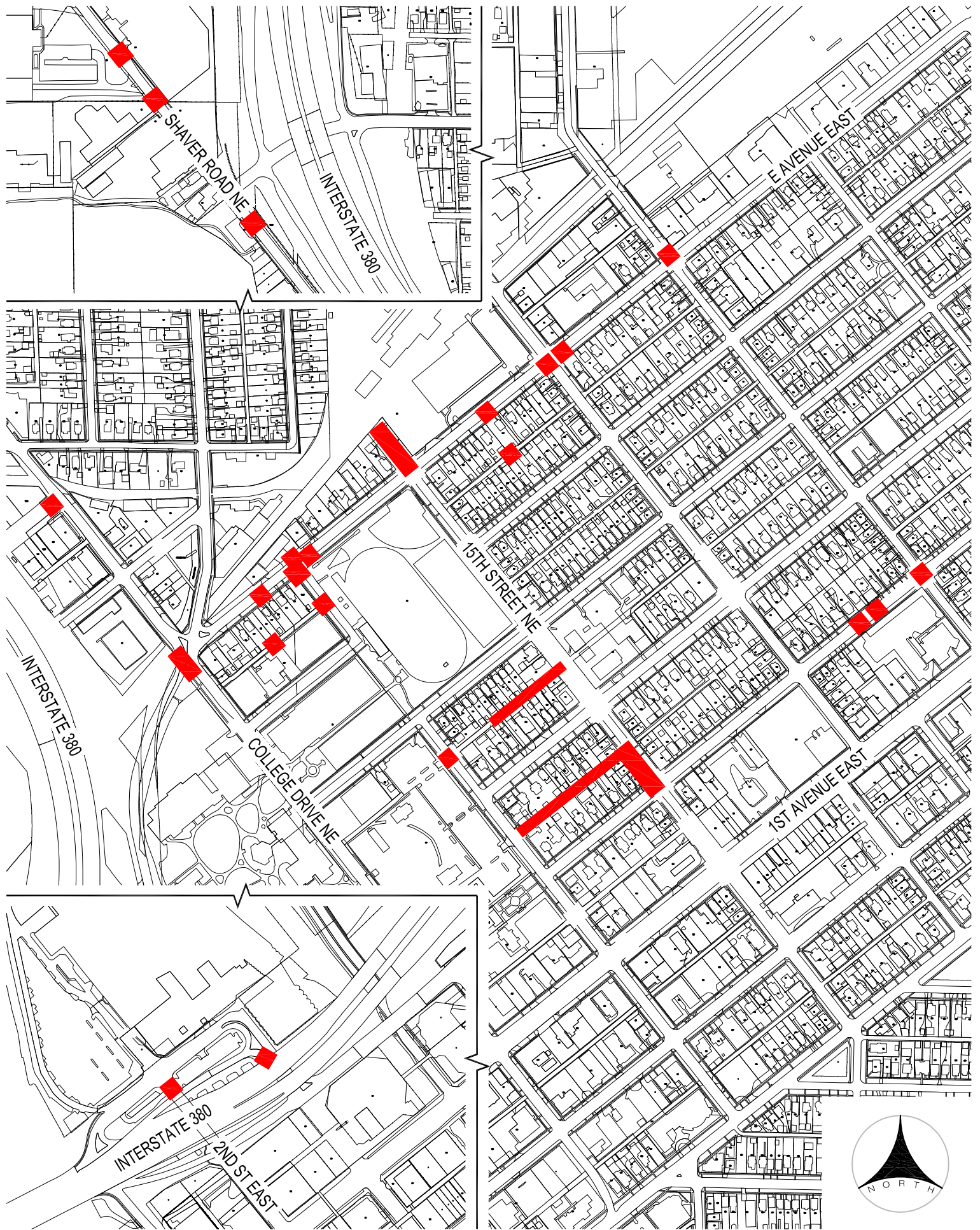
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MayorSignature

Attest:

ClerkSignature

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Council Agenda Item Cover Sheet

Submitting Department: Water

Presenter at Meeting: Steve Hershner
E-mail Address: s.hershner@cedar-rapids.org

Phone Number/Ext.: 5281

Alternate Contact Person: Bruce Jacobs
E-mail Address: b.jacobs@cedar-rapids.org

Phone Number/Ext.: 5913

Description of Agenda Item: Purchases, contracts and agreements
 Change Order No. 4 in the amount of \$32,677.44 with Tricon General Construction for the J Avenue Water Plant Process Improvements – Phase 1 project (original contract amount was \$7,276,000; total contract amount with this amendment is \$7,488,160.77).
 CIP/DID #6250026-02

EnvisionCR Element/Goal: ProtectCR Goal 3: Maintain and provide quality services to the community.

Background: The J Avenue Water Treatment plant was originally constructed in 1929. Additions were made to the plant in 1949, 1969, and 2009. Sound maintenance practices have kept the plant in good operating condition throughout its service life. However, the plant is starting to experience age related issues that are not readily correctable through preventative maintenance.

A study of the J Avenue Water Treatment Plant was completed by Strand Associates, Inc. in October 2011. The report detailed alternatives that would be beneficial for the longevity of the J Avenue water treatment plant. These alternatives were reviewed and staged in a specific manner and over many years. This staging was done to both improve operational factors during the construction work and to minimize the effect of the cost on ratepayers. This Project is related to only the first phase (Phase 1) of a much larger improvements program. All of the work required is currently staged in five separate phases and spread out over ten years.

This proposed Change Order includes eight items. Seven items are for changes to the scope of work as defined in the Contract Documents. Item 8 is for a Completion date extension due to work not progressing as anticipated. A time extension will help ensure that the Plant is able to consistently and reliably meet 2016 demand for water throughout the construction period.

Each contractor proposal (COR) was reviewed by the Owner's and Engineer's designated representatives to ensure that the scope of the proposal is appropriate, and the pricing is reasonable.

Action / Recommendation: The Utilities Department – Water Division staff recommends approval of Change Order No. 4 in the amount of \$32,677.44 with Tricon General Construction for the J Avenue Water Plant Process Improvements – Phase 1 project and that the City Manager and City Clerk be authorized to execute said Change Order.

Alternative Recommendation: None

Time Sensitivity: February 9, 2016

Resolution Date: February 9, 2016

Budget Information: This CIP project is coded to 553000-625-625000-6250026.

Local Preference Policy: No

Explanation: Capital Improvement Projects are not subject to local preference policy.

Recommended by Council Committee: NA

Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, Tricon General Construction was awarded the J Avenue Water Plant Process Improvements – Phase 1 public improvement project (Contract No. 6250026-02) by Resolution No. 0138-01-14 on January 28, 2014, and

WHEREAS, the Utilities Department – Water Division requested changes to the contract plans and specifications for the J Avenue Water Plant Process Improvements – Phase 1 project, and

WHEREAS, Change Order No. 4 specifies a net increase in the amount of \$32,677.44 for the additional work requested and includes eight items. Seven items are for changes to the scope of work as defined in the Contract Documents and item 8 is for a completion date extension due to work not progressing as anticipated.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that Change Order No. 4 in the amount of \$32,677.44 for the J Avenue Water Plant Process Improvements – Phase 1 project (Contract No. 6250026-02) be hereby approved and that the City Manager and City Clerk be authorized to execute Change Order No 4. A cost summary of the contract changes for this project is as follows:

Original Contract Amount	\$7,276,000.00
Change Order No. 1	+ 51,840.76
Change Order No. 2	+ 26,626.41
Change Order No. 3	+ 101,016.16
Change Order No. 4	+ <u>32,677.44</u>
Amended Contract Amount	\$7,488,160.77

The Phase 1 project is included in FY14 thru FY16 Utilities Department - Water CIP budgets and funded from 553000-625-625000-6250026.

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MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG



Council Agenda Item Cover Sheet

Submitting Department: Community Development

Presenter at Meeting: Anne Russett

Phone Number/Ext.: 319 286-5075

E-mail Address: a.russett@cedar-rapids.org

Alternate Contact Person: Jeff Hintz

Phone Number/Ext.: 319 286-5781

E-mail Address: j.hintz@cedar-rapids.org

Description of Agenda Item: CONSENT AGENDA

Resolution authorizing execution of the Certified Local Government 2015 Annual Report for submission to the State Historical Society of Iowa.

CIP/DID #OB691376

EnvisionCR Element/Goal: StrengthenCR Goal 2: Improve the quality and identity of neighborhoods and key corridors.

Background: As a Certified Local Government (CLG), and under the CLG agreement with the State Historical Society of Iowa, the City is responsible for submitting an annual report summarizing the City's historic preservation activities to the State Historical Society of Iowa.

Submission of this annual report also ensures that the City is eligible for certain grants, such as the Historic Resource Development Program grant and the CLG grant program.

At the Historic Preservation Commission's January 14, 2016 meeting the Commission had an opportunity to review, discuss, and provide input on the 2015 CLG Annual Report [Attached].

Action/Recommendation: City staff recommends approval of the resolution.

Alternative Recommendation: City Council may table and request additional information.

Time Sensitivity: CLG annual report is due to the State Historical Society of Iowa by February 27, 2016.

Resolution Date: February 9, 2016

Budget Information: N/A

Local Preference Policy: NA

Recommended by Council Committee: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, the National Historic Preservation Act established a nationwide program to encourage preservation and the wise use of historic resources, including the creation of the Certified Local Government (CLG) program to support local governments' historic preservation efforts, and

WHEREAS, the City of Cedar Rapids is recognized by the State Historical Society of Iowa as a CLG, and

WHEREAS, under the CLG agreement with the State Historical Society of Iowa, the City is responsible for submitting an annual report that summarizes historic preservation activities, and

WHEREAS, on January 14, 2016 the Cedar Rapids Historic Preservation Commission reviewed, discussed, and provided input on the 2015 CLG Annual Report, and

WHEREAS, the State Historical Society of Iowa requires that the Mayor review and sign the 2015 CLG annual report,

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the Mayor is hereby authorized to execute the Certified Local Government 2015 Annual Report for submission to the State Historical Society of Iowa by its deadline of February 27, 2016.

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LEG_PASSED_FAILED_TAG

MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG

**IOWA CERTIFIED LOCAL GOVERNMENT
2015 ANNUAL REPORT (January 2015-December 2015)**

NAME OF THE CITY, COUNTY, OR LAND USE DISTRICT: **City of Cedar Rapids**

Section I.
Locating Historic Properties
Identification, Evaluation, and Registration Activity

CLG Standards found in CLG Agreement and National Historic Preservation Act

- ◆ The CLG shall maintain a system for the survey and inventory of historic and prehistoric properties in a manner consistent with and approved by the STATE.
- ◆ The CLG will review National Register nominations on any property that lies in the jurisdiction of the local historic preservation commission.

1. Please provide complete reports and site inventory forms from historic identification/survey, evaluation, and/or registration/nomination projects that your commission completed in 2015. Do not include projects that were funded with a CLG grant or mandated by the Section 106 review and compliance process as we already have these in our files.

None to include with this report. All site inventory forms, projects and surveys completed in 2015 and led by the City were associated with a Section 106 Review (i.e. MOA's with FEMA).

2. How many National Register of Historic Places (NRHP) properties in your City, County, or LUD were altered, moved, or demolished in 2015? Please identify the property (historic name and address) and the action.
 - a) **Hamilton Brothers Building (401 1st Street SE), individual NRHP Listed, had glass windows added to the rear of the building on the top floor which overlook the river.**
 - b) **White Elephant Building (1010 3rd Street SE), contributing to Bohemian Commercial Historic District, had the original house constructed behind the storefront demolished due to deterioration as a result of the 2008 flood.**

Note, not all properties on the NRHP get a review from the HPC; only properties listed in a local historic district or as a local historic landmark are reviewed for exterior changes by the HPC. These two projects we happened to be aware of, but there could be others as there are over 700 individual parcels listed individually or as part of a district.

3. In 2015, how many additional properties did your city place on its list of **locally designated** historic landmarks and/or historic districts?

If you have questions about whether you have a locally designation program or not, please contact Paula Mohr before you complete this section.

*(As a reminder, **before** your elected officials approve or change local districts or ordinances, you must send a copy to the State Historic Preservation Office for review and comment.) Please attach a copy of the final designation nomination(s) and ordinance(s).*

Date the ordinance(s) reviewed and commented by SHPO

- a) Ausadie Building – 845 1st Avenue SE, designated by City Council ordinance February 10, 2015 and comments received from SHPO on October 2, 2014.**

Note, this is the City's only individual, local historic landmark at this time.

4. In 2015, what were the actions to revise, amend, change, or de-list a locally designated property? Please attach documentation of the review and appeal process and decisions made by the historic preservation commission, planning and zone commission, city Council, District Court or other governmental agency or official involved with the process. (use additional pages if needed)

Not applicable. No resources were delisted, revised, or amended in 2015.

Section II

Managing, Protecting, and Preserving Historic Properties

- ◆ The CLG will enforce all appropriate state and local ordinances for designating and protecting historic properties
 - ◆ The CLG shall provide for adequate public participation in the local historic preservation programs
5. Did your city, county, LUD or its historic preservation commission undertake any of the following activities in 2015? Please think broadly about this question and include any activity (small or large) that facilitated historic preservation in your community. This is your opportunity to boast about your accomplishments and get credit for the great work you do! (use additional pages if needed)
- a. Historic preservation planning. Examples include the development or revision of an preservation plan, development of a work plan for your commission, etc. (use additional pages if needed)
 - 1. Adoption of the City's first Historic Preservation Plan by the Cedar Rapids City Council in September of 2015.**
 - 2. Development of the Historic Preservation Commission's work plan was initiated by the HPC in October and approved by City Council on December 15, 2015.**
 - b. Provided technical assistance on historic preservation issues or projects. Examples include working with individual property owners, business owners, institutions to identify appropriate treatments and find appropriate materials, research advice, etc. Please be specific (use additional pages if needed)

1. Worked with property owner in the local historic district to ensure an accessory structure was modernized with an overhead garage door and done so in a way that would not alter the character defining features of the structure. The Commission encouraged stabilization and utilization of the structure as opposed to demolition. The structure was saved and is in active use at this time.
 2. One applicant had replaced all the windows with vinyl replacements which were incorrectly sized and did not fit the original openings. The Commission provided examples of appropriate products and worked with the applicant so all the windows were correctly sized to the original openings and all windows visible from public view were wood.
 3. One applicant sought to extend the size of an accessory structure and already knew to use cedar shake to match the look of the building. The HPC gave ideas and different construction methods which could be used to extend the building, while still maintaining the same roof pitch and look of the structure. This accessory building has been preserved and will be in use shortly once the interior wiring and insulation has been completed.
- c. Sponsored public educational programming in historic preservation. Examples include training sessions offered to the public, walking tours, open houses, lectures, Preservation Month activities, etc. (use additional pages if needed)
1. 2015 Preservation Showcase was held on May 2, 2015 and included awards highlighting preservation successes; awards were given for adaptive re-use, paint scheme and best project to name a few categories. Keynote speaker Bob Yapp gave talks about Historic Preservation and hands on demonstrations about window repair. Tours were also given to the community to highlight Cedar Rapids historic properties and bring awareness to the stories they have.
 2. City staff conducted training on the Preservation Plan, including where to find it, what is contained within it the document and how it can be used. The session also included the release of the online mapping system of historic properties titled, "Cedar Rapids Historic Sites and Districts Identification System." The training also demonstrated how to use the system and useful tips and tricks.
 3. The Kirkwood Curriculum consisting of Historic Preservation related courses held at Kirkwood Community College began in the fall of 2015. HPC members, citizens and City Staff enrolled in courses covering a wide variety of Historic Preservation topics. These courses will continue into the spring of 2016 as well.
6. If the city or county amended its historic preservation ordinance or resolution or passed additional ordinances or resolutions that impact historic properties, please attach copies of the amendments and new ordinances or resolutions.

(As a reminder, before your elected officials approve local districts or ordinances, you must send a copy to the State Historic Preservation Office for comment.)

Not applicable, no ordinances or resolutions were passed which impact historic properties in 2015.

7. If new or revised design standards and/or guidelines were developed and adopted during 2015, please attach a copy.

Not applicable, no new standards or guidelines were adopted in 2015 which impact historic properties.

8. Are there any particular issues, challenges, and/or successes your preservation commission has encountered or accomplished this year? (use additional pages if needed)

One of the major challenges that both the Commission and City staff face relates to educating the general public on the benefits of preservation. Through the development of the City's first Historic Preservation Plan, City staff focused on engaging a variety of stakeholders and connecting the dots between preservation and other important policy issues (e.g. sustainability, public health). However, more work needs to be done through ongoing communication and education to help ensure that the benefits of preservation are better understood throughout the community.

The major successes of 2015 include the following:

- **Adoption of the City's first Historic Preservation Plan**
- **A number of additions to the National Register of Historic Places, including the following City-led nominations: Cedar Rapids Central Business District Commercial Historic District, Harper and McIntire Company Warehouse, and the St. James United Methodist Church**
- **Designation of the City's first local historic landmark, the Ausadie Building**
- **Completion of two booklets on Cedar Rapids history: the Link-Belt Speeder Corporation History, and the History of T.M. Sinclair & Company, Meatpacking Plant**
- **The fabrication and installation of a kiosk on 3rd Street SE highlighting the sidewalk mosaic advertising in New Bohemia**

With the adoption of the City's Historic Preservation Plan in September 2015, the City is moving forward with plan implementation. The priority initiative identified by the Historic Preservation Commission is the update to Chapter 18-Historic Preservation of the municipal code. The City initiated the comprehensive update to this ordinance at the end of 2015.

Lastly, the Knutson Building, a historically significant industrial building built in 1887 has taken up a significant amount of City staff and Commission time. In November 2015, the City Council voted to move forward with stabilizing the severely deteriorated building. Since November the City staff has been exploring options and working to identify a firm that could stabilize the building within the identified budget.

9. Does your commission have a website and if so, what is the address?

CityofCR.org/HPC

- The CLG will organize and maintain a historic preservation commission, which must meet at least three (3) times per year.
- The commission will be composed of community members with a demonstrated positive interest in historic preservation, or closely related fields, to the extent available in the community.
- The commission will comply with Iowa Code Chapter 21 (open meetings) in its operations.
- Commission members will participate in state-sponsored or approved historic preservation training activities.

10. List dates of meetings held (please note these are meetings actually held with a quorum, not just those that were scheduled). **All dates year 2015: January 8, January 22, February 12, February 26, March 12, March 26, April 9, May 14, May 28, June 11, June 25, July 9, July 23, August 13, August 27, September 10, September 24, October 8, October 22, November 12 and December 10.**

11. In 2015, what was the dollar amount for the historic preservation commission's annual budget?

The Commission does not have a budget; however, funds for historic preservation come from the Community Development Department's budget. In addition, the City's paint rebate program provides up to \$25,000 annually to property owners in local historic districts to help with repainting projects.

12. Where are your official CLG files located?

The Community Development Department maintains these files in Cedar Rapids City Hall at 101 First Street SE.

13. Please update the attached CLG Personnel Information Table (this must be completed).

Please see the end of the report for this information.

14. Please attach biographical sketches for commissioners who were newly appointed in 2015 or 2016. Please be sure newly appointed commissioner's sign and date their statement.

No new commissioners were appointed in 2015; BJ Hobart, Tim Oberbroeckling and Barbara Westercamp were reappointed to continue serving until June 30, 2018.

15. Please complete the 2015 Commission Training Table.

PLEASE SIGN and DATE

Signature of person who completed this report

Date

Signature of Mayor or Chairman of the Board of Supervisors
Ron J. Corbett, Mayor City of Cedar Rapids

Date

Please retain a copy for your official CLG file and send one hard copy with original signatures by February 27, 2016 to:

Paula A. Mohr
State Historical Society of Iowa
600 East Locust St,
Des Moines IA 50319-0290
Paula.mohr@iowa.gov

If you have questions, please contact me at: (515) 281-6826.

Thank you for your timely response!

2015 Historic Preservation Training Table

An important requirement of the Certified Local Government program is annual training undertaken by at least one member of the historic preservation commission and/or staff liaison. In this table, provide information about the commissioners' involvement in historic preservation training, listing the name of the conference, workshop or meeting (including on-line training opportunities); the sponsoring organization; the location and date when the training occurred. Be sure to provide the names of commissioners, staff, and elected officials who attended.

Name of Training Session: **2015 Preserve Iowa Summit**

Sponsoring organization: **SHPO/Madison County Historic Preservation Commission**

Location: **Winterset, Iowa**

Date: **June 25-27, 2015**

Names of commission members, staff and elected officials who attended the Preserve Iowa Summit (**please note this must be completed. If no one attended, enter none**):

Anne Russett and Jeff Hintz, City of Cedar Rapids Staff liaisons to the Historic Preservation Commission.

Name of Training Session: **Preservation Showcase**

Sponsoring organization: **CITY OF CEDAR RAPIDS**

Location: **CEDAR RAPIDS, IA**

Date: **MAY 2, 2015**

Names of historic preservation commissioners, staff and elected officials who attended:

Mark Stoffer Hunter

Amanda McKnight Grafton

Tim Oberbrockling

Bob Grafton

BJ Hobart

Ron Mussman

Caitlin Hartman

Pat Cargin

Jeff Hintz

Barb Westercamp

Name of Training Session: **Why Do Old Places Matter?**

Sponsoring organization: **SMART GROWTH NETWORK**

Location: **WEBINAR**

Date: **JUNE 9, 2015**

Names of historic preservation commissioners, staff and elected officials who attended: **Anne Russett**

Name of Training Session: **HANDS ON TRAINING WITH PRESERVATION GURU BOB YAPP**
Sponsoring organization: **MAIN STREET WASHINGTON**
Location: **Washington, IA**
Date: **September 25-27, 2015**
Names of historic preservation commissioners, staff and elected officials who attended:
Sam Bergus

Name of Training Session: **KIRKWOOD PRESERVATION CERTIFICATE SERIES**
Sponsoring organization: **Kirkwood Community College & the City of Cedar Rapids**
Location: **Cedar Rapids, IA**
Date: **Fall Semester 2015**
Names of historic preservation commissioners, staff and elected officials who attended:
Amanda McKnight-Grafton (entire series)
Ron Mussman (portion of series)
Bob Grafton (portion of series)
Barb Westercamp (portion of series)
Pat Cargin (portion of series)
Anne Russett (portion of series)

Name of Training Session: **CITY OF CEDAR RAPIDS – HISTORIC PRESERVATION PROGRAM**
Sponsoring organization: **City of Cedar Rapids**
Location: **Cedar Rapids, IA**
Date: **December 1, 2015**
Names of historic preservation commissioners, staff and elected officials who attended:
Jeff Hintz, Presenter
Anne Russett, Presenter
Mark Stoffer Hunter
Ron Mussman

Name of Training Session: **NUTS AND BOLTS OF HISTORIC PRESERVATION**
Sponsoring organization: **City of Mount Pleasant Historic Preservation Commission**
Location: **Mount Pleasant, IA**
Date: **December 12, 2015**
Names of historic preservation commissioners, staff and elected officials who attended:
Barb Westercamp

CLG Personnel Table

- A. Please list the names of the Historic Preservation Commissioners who served during calendar year 2015:

Amanda McKnight Grafton

Todd McNall

Bob Grafton

Samuel Bergus

Patricia Cargin

Caitlin Hartman

BJ Hobart

Ronald Mussman

Tim Oberbroeckling

Mark Stoffer Hunter

Barbara Westercamp

B. CHIEF ELECTED OFFICIAL **2016 (note this is beginning January 2016)**

Name of Mayor, Chairman of Board of Supervisors, or President of LUD Trustees:

First Name: **Ron**

Last Name: **Corbett**

Mailing Address: **101 First Street SE, Cedar Rapids, IA 52401**

Phone Number: **(319) 286-5051**

Email Address: ron.corbett@cedar-rapids.org

CITY STAFF PERSON FOR THE HISTORIC PRESERVATION COMMISSION

First Name: **Jeff**

Last Name: **Hintz**

Job Title: **Planner II**

Mailing Address: **101 First Street SE, Cedar Rapids, IA 52401**

Phone Number: **(319)286-5781**

Email Address: j.hintz@cedar-rapids.org

CITY STAFF PERSON FOR THE HISTORIC PRESERVATION COMMISSION

First Name: **Anne**

Last Name: **Russett**

Job Title: **Planner III**

Mailing Address: **101 First Street SE, Cedar Rapids, IA 52401**

Phone Number: **(319)286-5075**

Email Address: a.russett@cedar-rapids.org



Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at meeting: Doug Wilson, PE

Phone Number/Extension: 5141

E-mail Address: d.wilson@cedar-rapids.org

Alternate Contact Person: Tim Mroch, PE

Phone Number/Extension: 5703

E-mail Address: t.mroch@cedar-rapids.org

Description of Agenda Item: Purchases, contracts and agreements

Resolution authorizing execution of a 28E Agreement with Linn County to participate in the estimated cost of construction of \$162,786.70 for a Portland Cement Concrete (PCC) overlay on Ely Road SW from 0.4 miles south of Linn-Johnson County Line N for 0.8 mi and from Ely City limits N 3 miles (**Paving for Progress**).

CIP/DID #301935-00

EnvisionCR Element/Goal: ConnectCR Goal 4: Improve the function and appearance of our key corridors.

Background: Linn County is proposing to improve the road surface on Ely Road SW from 0.4 miles south of Linn-Johnson County Line N for 0.8 mi and from Ely City limits N 3 miles, by construction of a PCC overlay resurfacing project during the 2016 construction season. The portion of the project that the City will be participating in is approximately 3,250 feet of the west side of Ely Road SW adjacent to Hoover Trail 1st Addition. This concrete resurfacing will extend the street service life approximately 20 years.

This agreement will be terminated upon final acceptance of the work by the City and final settlement of the financial conditions as set forth in Paragraph 7 of the 28E Agreement. Total estimated cost of the project is \$1,966,473.35, with the City's share estimated at \$162,786.70.

The City Council previously approved Resolution 0160-01-15 for a 28E agreement with Linn County for the culvert and grading work in 2015 to prepare for the paving work to take place in 2016.

Action/Recommendation: The Public Works Department recommends adopting the resolution authorizing execution of a 28E Agreement for construction of a PCC overlay with Linn County on Ely Road in the amount of \$162,786.70.

Alternative Recommendation: If the City Council decides not to approve the 28E Agreement, Linn County may choose to delete a portion of the resurfacing within the City corporate limits from their construction project.

Time Sensitivity: Normal

Resolution Date: February 9, 2016

Budget Information: 301/301000/301935 SLOST

Local Preference Policy: NA

Explanation: NA

Recommended by Council Committee: NA

Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, Linn County is proposing to improve the rideability and service life of the existing pavement on Ely Road SW from 0.4 mi south of Linn-Johnson County Line N for 0.8 mile and from Ely City limits N 3 mile, by construction of a Portland Cement Concrete (PCC) overlay, and

WHEREAS, a portion of this roadway segment is located within the corporate limits of the City of Cedar Rapids, and

WHEREAS, the City Engineer recommends the City execute a 28E Agreement with Linn County providing for cooperative action pursuant to the proposed concrete resurfacing project, and

WHEREAS, this agreement will be terminated upon final acceptance of the work by the City and final settlement of the financial conditions as set forth in Paragraph 7 of the 28E Agreement, now therefore

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA that the City Manager and City Clerk are authorized to sign a 28E Agreement with Linn County in the amount of \$162,786.70 in connection with the Ely Road SW PCC Overlay project (CIP No. 301935-00),

BE IT FURTHER RESOLVED, that said agreement shall be filed with the City of Cedar Rapids Finance Director and thereafter filed with the Office of the Secretary of State.

PASSED_DAY_TAG

LEG_PASSED_FAILED_TAG

MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG

Cadd File Name: Y:\PAV\ING FOR PROGRESS\LOST\PROJECTS\301935 - Ely Road SW PCC Overlay\301935_Council Map.dwg



ELY ROAD SW FROM EAST OF C STREET SW
PCC OVERLAY PROJECT





Council Agenda Item Cover Sheet

Submitting Department: Community Development

Presenter at Meeting: Kirsty Sanchez
E-mail Address: k.sanchez@cedar-rapids.org

Phone Number/Ext.: 319 286-5428

Alternate Contact Person: Jennifer Pratt
E-mail Address: j.pratt@cedar-rapids.org

Phone Number/Ext.: 319 286-5047

Description of Agenda Item: CONSENT AGENDA

Resolution authorizing payment of an Economic Development Grant of \$8,415 to the Linn County Treasurer to satisfy the 3rd Street SE Streetscape Reinvestment Project assessment for Jelinek Companies, LLC for the property located at 1117 3rd Street SE.
 CIP/DID #321562-02

EnvisionCR Element/Goal: ConnectCR Goal 4: Improve the function and appearance of our key corridors.

Background:

Resolution authorizing payment of a Streetscape Property Assessment Grant to the Linn County Treasurer in the amount of \$8,415.00 to be applied to the 3rd Street SE Streetscape Reinvestment Project assessment.

On September 30, 2013, City Council approved an Agreement for Private Redevelopment with Jelinek Companies, LLC for 1117 3rd Street SE. Jelinek Companies, LLC has satisfied the terms of the Agreement and has requested that the City authorize payment of the \$8,415.00 Streetscape Property Assessment Grant.

On May 25, 2010, Council approved Resolution No. 0514-05-10 adopting a Resolution of Necessity for the 3rd Street SE Reconstruction and Streetscape Improvements from 8th Avenue SE to 14th Avenue SE. On August 23, 2011, Council approved Resolution No. 1134-08-11, approving the Property Assessment Agreement Program. The goals of the program were to:

1. Allow property owners impacted by the flood of 2008 the mechanism to pay all or a portion of their Assessments.
2. Provide incentive for private reinvestment.
3. Provide leverage of the City's investment in the project with private investment.
4. Provide incentive for an enhanced neighborhood.

The Property Assessment Agreement Program provides a Streetscape Property Assessment Grant that can be applied to a property's assessment for a partial or total amount of the Streetscape Property Assessment. The Streetscape Property Assessment Grant shall be payable from Tax Increment Revenues from the respective Tax Increment Funds.

Action/Recommendation: City staff recommends approval of the Resolution.

Alternative Recommendation: City Council may table and request additional information.

Time Sensitivity: N/A

Resolution Date: February 9, 2016

Budget Information: The Streetscape Property Assessment Grant payment is payable from Tax Increment Revenues from the Consolidated Central Tax Increment Financing Fund.

Local Preference Policy: NA

Explanation:

Recommended by Council Committee: NA

Explanation:

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, the City of Cedar Rapids and Jelinek Companies, LLC have entered into an *Agreement for Private Reinvestment* (the "Agreement") dated September 30, 2013 which set forth redevelopment requirements of Jelinek Companies, LLC and further provided for City payment of the Streetscape Property Assessment Grant contingent upon fulfillment of the terms of the Agreement; and

WHEREAS, the redevelopment improvements specified in the Agreement are entirely within the Consolidated Central Urban Renewal Area as established by the City Council through Resolution No. 2254-11-00 on November 1, 2000; and

WHEREAS, upon completion of the redevelopment, Jelinek Companies, LLC is qualified to receive the full Streetscape Property Assessment Grant as provided under Section 8.1 (Streetscape Property Assessment Grants) of the Agreement that totals \$8,415.00

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the City Auditor and City Treasurer are hereby authorized to make a Streetscape Property Assessment Grant payment to the Linn County Treasurer in the amount of \$8,415 to be paid from the Consolidated Central Tax Increment Financing fund (Fund/Dept/Project - 7520-752000-752005) for the Streetscape Property Assessment Grant.

PASSED_DAY_TAG

LEG_PASSED_FAILED_TAG

MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG



Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at meeting: Gary Petersen, PE
E-mail Address: g.petersen@cedar-rapids.org

Phone Number/Extension: 5153

Alternate Contact Person: Nate Kampman, PE
E-mail Address: n.kampman@cedar-rapids.org

Phone Number/Extension: 5628

Description of Agenda Item: Purchases, contracts and agreements
 Resolution authorizing execution of an Agreement for Utility Relocation in the amount of \$503,197 and an Approval for Street Lighting with Interstate Power and Light Company in connection with the 1st Avenue East from 27th Street to 34th Street project.
 CIP/DID # 301240-00

EnvisionCR Element/Goal: ConnectCR Goal 4: Improve the function and appearance of our key corridors.

Background: The City Council has established a vision to improve the aesthetics of the public improvements along major arterial streets. The franchise with Interstate Power and Light Company approved by Ordinance No. 016-09 on April 22, 2009, included a provision that Interstate Power and Light Company would relocate its overhead electric lines underground upon receipt of the City's payment for the incremental cost of undergrounding the lines. The incremental cost is defined as the difference between the estimated cost to relocate the lines overhead and the cost of relocating the lines underground.

In this case, the incremental cost of undergrounding the electric power lines is \$472,218 and an additional \$30,979 is required for upgrading from a standard wood street light pole to a fiberglass street light pole (see attached picture of fiberglass street light pole) and underground street light circuits. The incremental cost of undergrounding all of the overhead utilities for the 1st Avenue East Improvements from 27th Street to 40th Street is \$1,244,802 and is 9.96% of the estimated construction cost (\$12.5 Million) for the corridor improvements.

An Agreement for Utility Relocation with Mediacom Communications Corporation for undergrounding of cable lines is recommended for approval at the February 9, 2016 City Council meeting.

Action/Recommendation: Approval of the resolution is recommended. Council has established a vision to improve the aesthetics along the arterial streets. This Agreement defines the costs to attain the City Council vision of improved aesthetics and enhance the quality of life for the City

Alternative Recommendation: Council could choose to not approve this Agreement and continue with overhead electric power and cable utilities. This action would not provide the safety and aesthetic benefits of undergrounding the existing overhead utilities.

Time Sensitivity: High. Utility companies are preparing for protection or relocation of facilities in advance of the public utilities construction contract currently scheduled for the 2016 construction season.

Resolution Date: February 9, 2016

Budget Information: CIP No. 301240, NA

Local Preference Policy: NA

Explanation: NA

Recommended by Council Committee: NA

Explanation: NA



2014/12/11

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, the City of Cedar Rapids desires to improve the safety and aesthetics of the public right-of-way along the 1st Avenue East from 27th Street to 34th Street project, and

WHEREAS, the City of Cedar Rapids has agreed to pay Interstate Power and Light Company for the incremental cost of undergrounding electric power line facilities in accordance with Ordinance No. 016-09 dated April 22, 2009, and

WHEREAS, the City of Cedar Rapids desires to improve the safety and aesthetics within the above project limits with undergrounding of street light circuits and replacement of wood street light poles with bronze fiberglass poles as provided in the utility tariff rates for Interstate Power and Light Company, and

WHEREAS, the City Council has allocated funds for the 1st Avenue East Improvement project, Fund 301, Dept. ID 301000, Project 301240, now therefore

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA that the City Manager is authorized to sign the Agreement for Utility Relocation with Interstate Power and Light Company in the amount of \$503,197 in connection with the 1st Avenue East from 27th Street to 34th Street Project (CIP No. 301240, NA), and

BE IT FURTHER RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the City Manager is authorized to sign the Street Light Approval form for removal of 31 existing street light fixtures, the installation of 13 270-watt LED street light fixtures, and the installation of 13 bronze fiberglass street light poles.

PASSED_DAY_TAG

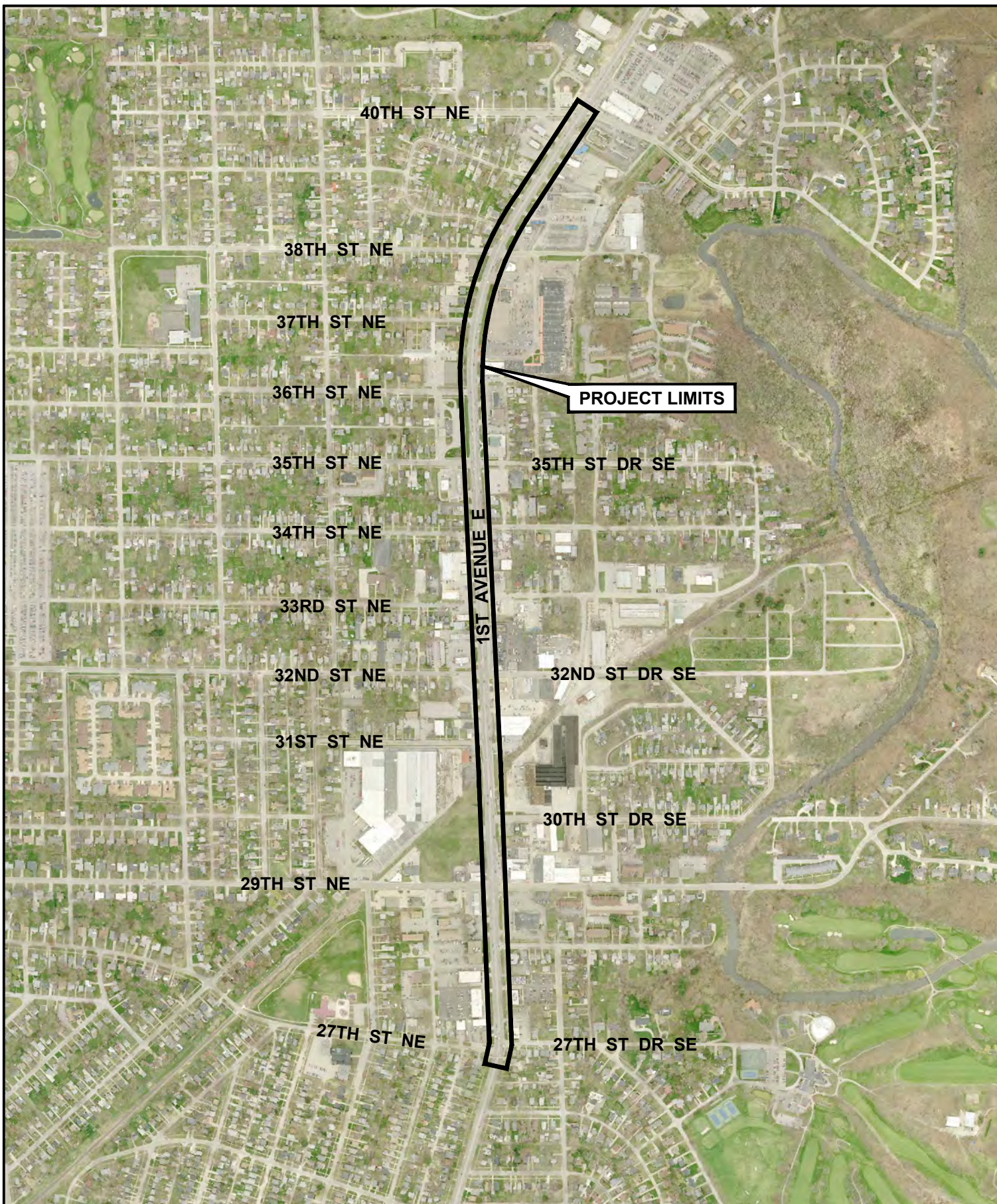
LEG_PASSED_FAILED_TAG

MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG





Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at meeting: Gary Petersen, PE
E-mail Address: g.petersen@cedar-rapids.org

Phone Number/Extension: 5153

Alternate Contact Person: Nate Kampman, PE
E-mail Address: n.kampman@cedar-rapids.org

Phone Number/Extension: 5628

Description of Agenda Item: Purchases, contracts and agreements
 Resolution authorizing execution of an Agreement for Utility Relocation with Mediacom Communications Corporation in the amount of \$72,745.52 in connection with the 1st Avenue East from 27th Street to 34th Street project.
 CIP/DID # 301240-00

EnvisionCR Element/Goal: ConnectCR Goal 4: Improve the function and appearance of our key corridors.

Background: The City Council has established a vision to improve the aesthetics of the public improvements along major arterial streets. Mediacom Communications Corporation has been issued a Certificate of Franchise Authority by the Iowa Utilities Board as regulated by Chapter 477A of the Code of Iowa. Chapter 477A requires municipalities to provide comparable, nondiscriminatory, and competitively neutral access to public right-of-way. The Agreement for Utility Relocation is structured for the City to pay Mediacom the incremental cost of undergrounding their cable lines, similar to Ordinance No. 016-09 with Interstate Power and Light Company. The incremental cost is defined as the difference between the estimated cost to relocate the lines overhead and the cost of relocating the lines underground. The incremental cost of undergrounding all of the overhead utilities for the 1st Avenue East Improvements from 27th Street to 40th Street is \$1,244,802 and is 9.96% of the estimated construction cost (\$12.5 Million) for the corridor improvements.

An Agreement for Utility Relocation with Interstate Power and Light Company for undergrounding of electric power lines and an Approval for Street Lighting with underground circuits is recommended for approval at the February 9, 2016 City Council meeting.

Action/Recommendation: Approval of the resolution is recommended. Council has established a vision to improve the aesthetics along the arterial streets. This Agreement defines the costs to attain the City Council vision of improved aesthetics and enhance the quality of life for the City.

Alternative Recommendation: Council could choose to not approve this Agreement and continue with overhead cable utilities. This action would not provide the safety and aesthetic benefits of undergrounding the existing overhead utilities.

Time Sensitivity: High. Utility companies are currently relocating facilities in advance of the street improvements project currently scheduled for the 2016 construction season.

Resolution Date: February 9, 2016

Budget Information: CIP No. 301240, NA

Local Preference Policy: NA

Explanation: NA

Recommended by Council Committee: NA

Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, the City of Cedar Rapids desires to improve the safety and aesthetics of the public right-of-way along the 1st Avenue East from 27th Street to 34th Street project, and

WHEREAS, the City of Cedar Rapids desires to improve the safety and aesthetics within the above project limits with undergrounding of existing overhead cable lines, and

WHEREAS, the City of Cedar Rapids has agreed to pay Mediacom Communications Corporation for the incremental cost of undergrounding existing overhead cable lines, and

WHEREAS, the City Council has allocated funds for the 1st Avenue East Improvement project, Fund 301, Dept. ID 301000, Project 301240,

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA that the City Manager and City Clerk are hereby authorized to sign the Agreement for Utility Relocation with Mediacom Communications Corporation in the amount of \$72,745.52 in connection with the 1st Avenue East from 27th Street to 34th Street project (CIP No. 301240, NA).

PASSED_DAY_TAG

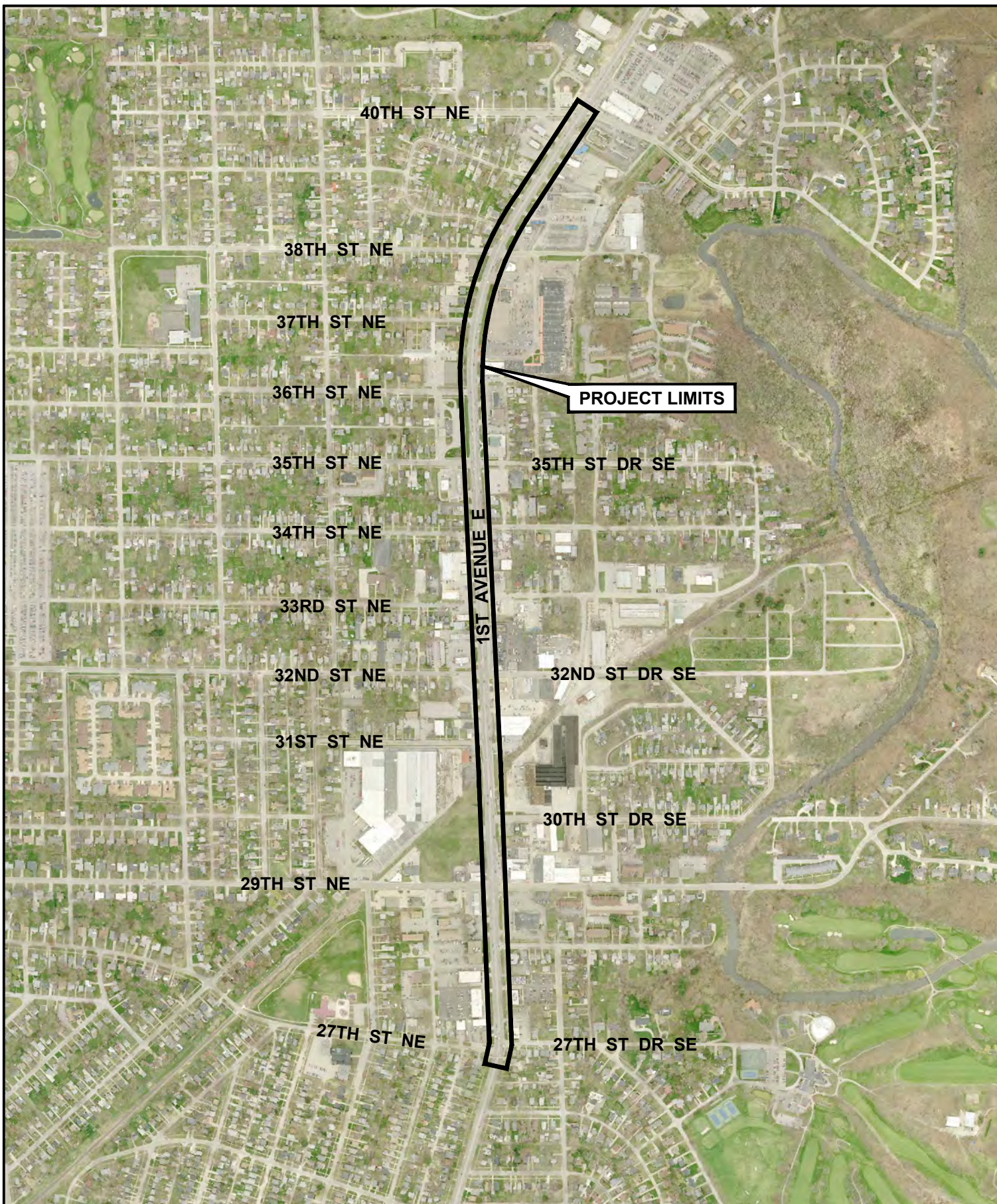
LEG_PASSED_FAILED_TAG

MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG





Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at meeting: Nate Kampman, PE
E-mail Address: n.kampman@cedar-rapids.org

Phone Number/Extension: 5628

Alternate Contact Person: Kevin Vrchoticky, PE
E-mail Address: k.vrchoticky@cedar-rapids.org

Phone Number/Extension: 5896

Description of Agenda Item: Purchases, contracts and agreements

Resolution accepting the Concrete Sidewalk Petition and Assessment Agreement from Czech National Cemetery Association of Cedar Rapids for sidewalk installation along Bowling Street SW frontage adjacent to 2200 C Street SW in connection with the 2015 Sidewalk Infill Project – Phase 2 project.

CIP/DID #3012074-00

EnvisionCR Element/Goal: GreenCR Goal 1: Be stewards for the environment, promoting economic and social growth while restoring the relationship between the city and the natural environment.

Background: The Bohemian Cemetery Association of Cedar Rapids, the previous owners of the Czech National Cemetery, filed a Plat of Survey to divide the parcel into two parcels. The new parcel was sold to Broch Chapel, Inc. and conditions of the Plat of Survey No. 1954 require new sidewalk to be installed per the City Subdivision Ordinance.

In 2012, the Czech National Cemetery Association of Cedar Rapids, the new owner of the Czech National Cemetery, filed for a deferment on the basis that a new sidewalk would cause harm to existing memorial trees that had been donated. City Council passed Resolution No. 1640-11-12 (dated November 27, 2012) granting a sidewalk deferment, provided the Czech National Cemetery Association of Cedar Rapids signed a Petition and Assessment Agreement within 60 days.

The Czech National Cemetery Association of Cedar Rapids failed to sign the Petition and Assessment Agreement within the 60 days, and, therefore, it was included in the 2015 Sidewalk Infill Project – Phase 2 assessment project as part of the City's desire to fill in areas of sidewalk identified with gaps. The majority of these locations are beyond the five-year allowable grace period for when sidewalks are required to be installed per the Subdivision Ordinance, or conditions fulfilled of the Concrete Sidewalk Petition and Assessment Agreement. The Czech National Cemetery was added to the project as the condition of Resolution No. 1640-11-12 was not met.

Per Resolution No. 0453-04-15 (dated April 14, 2015), a deferment was approved. The Czech National Cemetery Association of Cedar Rapids signed the Concrete Sidewalk Petition and Assessment Agreement and it was recorded with the Linn County Recorder's office on May 1, 2015. The Czech National Cemetery Association submits the Petition and Assessment

agreement to fulfill the criteria set forth in Resolution 1640-11-12 and thus deferring the sidewalk installation.

Action/Recommendation: Accept the petition and assessment agreement in exchange for sidewalk deferral.

Alternative Recommendation: Do not accept the petition and assessment agreement and require sidewalk installation.

Time Sensitivity: Normal

Resolution Date: February 9, 2016

Budget Information: N/A

Local Preference Policy: No
Explanation: NA

Recommended by Council Committee: No
Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, per the conditions of the Plat of Survey No. 1504 dated July 20, 2009, sidewalk installation is required by the Czech National Cemetery along Bowling Street SW frontage adjacent to 2200 C Street SW, and

WHEREAS, at the February 25, 2009 City Council meeting, the Bohemian Cemetery Association of Cedar Rapids (past property owners of 2200 C Street SW) requested deferral of said sidewalk installation due to the location conflicting with large evergreen trees that were planted in memory of people, and

WHEREAS, per Resolution No. 1640-11-12 (dated November 27, 2012), the City deferred the sidewalk installation provided the Czech National Cemetery Association of Cedar Rapids sign a Petition and Assessment agreement within 60 days of approval of Resolution No. 1640-11-12, and

WHEREAS, per Resolution No. 1640-11-12, the Czech National Cemetery Association of Cedar Rapids did not sign a Petition and Assessment agreement within 60 days as stated in Resolution No. 1640-11-12, and

WHEREAS, the Czech National Cemetery was included in the 2015 Sidewalk Infill Project – Phase 2 project, and

WHEREAS, a public hearing was held on April 14, 2015 to consider the Resolution of Necessity for the 2015 Sidewalk Infill Project – Phase 2 project, and

WHEREAS, action on the Resolution of Necessity for the 2015 Sidewalk Infill Project – Phase 2 project was deferred for consideration to the Council meeting held on April 28, 2015. The Resolution of Necessity was adopted as amended on April 28, 2015 by Resolution No. 0621-04-15 and reflects the removal of the Czech National Cemetery from the 2015 Sidewalk Infill – Phase 2 project, and

WHEREAS, the Czech National Cemetery Association of Cedar Rapids signed the Concrete Sidewalk Petition and Assessment Agreement and the agreement was recorded at the Linn County Recorder's Office on May 1, 2015, and request that the agreement be accepted after Resolution No. 0621-04-15 was accepted on April 28, 2015, and

WHEREAS, execution of the Concrete Sidewalk Petition and Assessment Agreement, submitted by the Czech National Cemetery Association of Cedar Rapids fulfills the criteria set forth in Resolution No. 1640-11-12, and

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the Concrete Sidewalk Petition and Assessment Agreement, submitted by the Czech National Cemetery Association of Cedar Rapids and recorded at the Linn County Recorder's office, is hereby accepted and fulfills the criteria in Resolution No. 1640-11-12,

BE IT FURTHER RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the City Council hereby defers the requirement to construct concrete

sidewalk along Bowling Street SW adjoining the above property in exchange for the signed Concrete Petition and Assessment Agreement for said property, and

BE IT FURTHER RESOLVED, that the sidewalk improvements noted herein shall be constructed to the terms of the Concrete Sidewalk Petition and Assessment Agreement when deemed necessary by the City Council.

PASSED_DAY_TAG

LEG_PASSED_FAILED_TAG

MayorSignature

Attest:

ClerkSignature

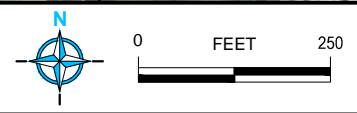
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**CZECH NATIONAL CEMETERY
2015 SIDEWALK INFILL PROJECT - PHASE 2**





Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at Meeting: Rita Rasmussen
E-mail Address: r.rasmussen@cedar-rapids.org

Phone Number/Ext.: 5807

Alternate Contact Person: Carol Morgan
E-mail Address: c.morgan@cedar-rapids.org

Phone Number/Ext.: 5092

Description of Agenda Item: Purchases, contracts and agreements
 Resolution accepting a bid in the amount of \$280,000 from CommonBond Communities for the disposition of excess City-owned property described as a 1.98 acre parcel of vacant land located at 1200 Edgewood Road NW.
 CIP/DID #52-13-002

EnvisionCR Element/Goal: GrowCR Goal 1: Encourage mixed-use and infill development.

Background: On February 26, 2013, City Council passed a resolution to dispose of a 1.98 acre parcel of excess City-owned property located at 1200 Edgewood Road NW and adjacent to the new fire station at this location. The property was offered to the public by sealed bid until July 1, 2013 for \$280,000, which was the value determined by a licensed real estate appraiser. The property has been advertised in the Cedar Rapids Gazette, on the City's website, with a "For Sale" sign on the property, and by direct mailings to builders and real estate developers. No bids were received on or before July 1, 2013, and the parcel has remained for sale to the public since that time.

The City has now received a bid from CommonBond Communities of St. Paul, Minnesota for \$280,000. CommonBond intends to construct an affordable multi-family development at this location, and this offer to buy is contingent upon approval of financing through the Iowa Finance Authority. Application for funding will be submitted in March of 2016 with possible approval expected in June of 2016. If funding is not approved in June, the parcel will again be offered for sale to the public.

Action/Recommendation: The Public Works Department recommends accepting the contingent bid for \$280,000 from CommonBond Communities.

Alternative Recommendation: If the Council does not vote to accept this bid, the alternative is to continue to offer the parcel for sale.

Time Sensitivity: Normal

Resolution Date: February 9, 2016

Budget Information: NA

Local Preference Policy: NA

Explanation: This does not fit the criteria outlined in the policy and therefore, does not apply.

Recommended by Council Committee: NA

Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, the City Council desires to dispose of the real property located at 1200 Edgewood Road NW, Cedar Rapids, Iowa, and described as:

a 1.98 acre parcel of vacant land
to be known as Lot 2 of Ayers First Addition

, and

WHEREAS, in February of 2013, the City Council previously authorized the disposition of this City-owned vacant parcel of land by sealed bid to the public, and

WHEREAS, the City of Cedar Rapids offered this property for sale by sealed bid for the appraised value of \$280,000 until July 1, 2013, and

WHEREAS, the City of Cedar Rapids received no bids for this property on or before July 1, 2013, which was the deadline for receipt of sealed bids for the purchase of the property, and

WHEREAS, the City of Cedar Rapids continued to offer this property for sale to the public, and

WHEREAS, the City of Cedar Rapids has now received a bid which was submitted by CommonBond Communities (1080 Montreal Avenue, St. Paul, Minnesota 55116) in the amount of \$280,000, and

WHEREAS, this bid is contingent upon approval of financing through the Iowa Finance Authority by July 1, 2016, and

WHEREAS, the Cedar Rapids Public Works Director recommends the City Council accept the bid received from CommonBond Communities for this property, and

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the consideration of \$280,000 to be paid by CommonBond Communities for the property to be conveyed is good, adequate, fair and valuable, and that the bid shall be accepted, and

BE IT FURTHER RESOLVED, that should CommonBond Communities not receive approval of financing through the Iowa Finance Authority on or before July 1, 2016, the bid for this parcel shall become null and void, and the parcel will again be offered for sale to the public.

PASSED_DAY_TAG

LEG_PASSED_FAILED_TAG

MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG





Council Agenda Item Cover Sheet

Submitting Department: Public Works Department

Presenter at meeting: Rita Rasmussen
E-mail Address: r.rasmussen@cedar-rapids.org

Phone Number/Extension: 5807

Alternate Contact Person: Gary Petersen
E-mail Address: g.petersen@cedar-rapids.org

Phone Number/Extension: 5153

Description of Agenda Item: Purchases, contracts and agreements

Resolution authorizing execution of a Total Real Estate Acquisition Purchase Agreement in the amount of \$171,000, plus an amount estimated to be \$41,000 in relocation benefits to Dennis R. and Justina M. Kremenak, and accepting a warranty deed for property located at 409 Old Marion Road NE in connection with the Collins Road (IA 100) from Council Street NE to 1st Avenue project.

CIP/DID #301446-00

EnvisionCR Element/Goal: ConnectCR Goal 5: Support the development of an effective, regional, multimodal transportation system.

Background: In 1999, the City Council adopted the Collins Road Corridor Study. This document has become the basis for:

- 1) Phase I improvements currently under construction on 1st Avenue East from 40th Street to Tama Street, and Collins Road NE from Twixt Town Road NE to Commerce Way SE.
- 2) Environmental Assessment (EA) for the Phase I segment, plus Collins Road from Center Point Road to Twixt Town Road. The Environmental Assessment included improvements to C Avenue NE from Collins Road to Nilsen Road (south of Old Marion Road) and the Environmental Assessment was approved by the Federal Highway Administration in December 2009.
- 3) Adjacent coordination of development/redevelopment of adjoining parcels.
- 4) Grant funding applications and approval of Agreements.
- 5) Revenue funding in multiple fiscal year Capital Improvement Program budgets since completion of Collins Road Corridor Study in 1999.

This purchase is needed to accommodate the proposed Collins Road (IA 100) roadway improvements, including the installation of sidewalks, street paving, and utility extensions, including the improvements along C Avenue NE from Collins Road to Nilsen Road. Compensation amounts proposed are based on an appraisal of the subject property, provided by a qualified appraiser and/or a review appraiser's recommendation hired by the City. The relocation benefits are based on a replacement housing payment, moving and incidental expenses estimated to be \$41,000 as required per the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970, as amended (Public Law 91-646).

Alternative Recommendation: The Public Works Department recommends adopting the resolution authorizing the offer to purchase and the execution of a Total Real Estate Acquisition Purchase Agreement from Dennis R. and Justina M. Kremenak in the amount of \$171,000, plus an amount estimated to be \$41,000 in relocation benefits.

Time Sensitivity: Normal

Resolution Date: February 9, 2016

Budget Information: 301/301000/301446 NA

Local Preference Policy: NA

Explanation: Local Preference Policy does not apply to the acquisition of right-of-way.

Recommended by Council Committee: NA

Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, the Public Works Director has determined the need to acquire the property at 409 Old Marion Road NE, Cedar Rapids, Iowa 52402 from Dennis R. and Justina M. Kremenak, OWNERS, in association with the Iowa 100 (Collins Road) from Council Street NE to 1st Avenue project, and

WHEREAS, the OWNERS have agreed to convey 409 Old Marion Road NE by Warranty Deed to the City of Cedar Rapids for consideration of \$171,000, and

WHEREAS, the Public Works Department provided Relocation Assistance to the OWNER in an amount estimated to be \$41,000, and

WHEREAS, the Public Works Director recommends the City enter into an agreement to purchase the property and provide relocation assistance in accordance with the terms set forth in the Total Real Estate Acquisition Purchase Agreement, and

WHEREAS, the City Council has allocated Capital Improvement funds for Collins Road (IA 100) from Council Street NE to 1st Avenue project (Fund 301, Dept ID 301000, Project 301446 NA),

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the City Manager and the City Clerk are hereby authorized to execute the Total Real Estate Acquisition Purchase Agreement as described herein, and

BE IT FURTHER RESOLVED that the City Attorney is authorized to review the abstract of title and upon approval by the City Attorney, the Public Works Department shall finalize the transaction and the City of Cedar Rapids Finance Director be authorized to issue payment(s) necessary in the amount of \$171,000, plus relocation benefits estimated to be \$41,000 to Dennis R. and Justina M. Kremenak, Linn County Treasurer and lien holders, if applicable.

BE IT FURTHER RESOLVED that the Warranty Deed from Dennis R. and Justina M. Kremenak be accepted and recorded in the Office of the Linn County Recorder and thereafter filed with the City of Cedar Rapids Finance Director.

PASSED_DAY_TAG

LEG_PASSED_FAILED_TAG

MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG



Cadd File Name: W:\PROJECTS\GIS\301446\301446 C Ave NE Property Exhibit.dwg



Council Agenda Item Cover Sheet

Submitting Department: Public Works Department

Presenter at meeting: Rita Rasmussen
E-mail Address: r.rasmussen@cedar-rapids.org

Phone Number/Extension: 5807

Alternate Contact Person: David Wallace
E-mail Address: d.wallace@cedar-rapids.org

Phone Number/Extension: 5814

Description of Agenda Item: Purchases, contracts and agreements
 Resolution authorizing execution of a Purchase Offer Voluntary Property Acquisition Program Conditional Offer to Buy Real Property and Acceptance in the amount of \$218,000, plus a total amount estimated to be \$20,000 in relocation benefits to Bradford J. and Kathleen M. Colton for real property located at 4264 Cottage Grove Parkway SE in connection with the Sun Valley Flood Protection project.
 CIP/DID #304224-00

EnvisionCR Element/Goal: ProtectCR Goal 1: Protect Cedar Rapids from flooding and other hazards.

Background: On July 14, 2015, City Council authorized City staff to submit a FEMA Hazard Mitigation Grant application to acquire property located at 4264 Cottage Grove Parkway SE. The application was subsequently approved by the Iowa Homeland Security and Emergency Management and an appraisal of the property prepared.

Compensation amounts proposed are based on an appraisal of the subject property, provided by a qualified appraiser hired by the City. The purchase offer is for the appraised amount of \$218,000 with Bradford J. and Kathleen M. Colton.

The relocation benefits are based on a reestablishment payment estimated to be \$20,000 for replacement housing assistance and incidental expenses as required per the Federal regulations.

Action/Recommendation: The Public Works Department recommends adopting the resolution authorizing execution of a Purchase Offer Voluntary Property Acquisition Program Conditional Offer to Buy Real Property and Acceptance in the amount of \$218,000, plus an amount estimated to be \$20,000 in relocation benefits and accepting a Warranty Deed from Bradford J. and Kathleen M. Colton.

Alternative Recommendation: Do not proceed with acquiring the property and direct City staff to abandon the property acquisition.

Time Sensitivity: Normal

Resolution Date: February 9, 2016

Budget Information: 304/304000/304224 NA

Local Preference Policy: NA

Explanation: Local Preference Policy does not apply to the acquisition of right-of-way.

Recommended by Council Committee: Yes

Explanation: Presented at the June Infrastructure Committee.

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, on July 14, 2015, the City Council authorized the acquisition of the real property at 4264 Cottage Grove Parkway SE, Cedar Rapids, Iowa as part of the Sun Valley Flood Protection project, and

WHEREAS, Bradford J. and Kathleen M. Colton, 4264 Cottage Grove Parkway SE, Cedar Rapids, Iowa 52403, OWNERS of the real property known and described as:

Lot 6, Sun Valley Sixth Addition to Cedar Rapids, Iowa excepting therefrom that part described as follows: Beginning at the SE corner of said Lot 6; thence W-ly along the S-ly line of said Lot 6, 1 Foot; thence N-ly to a point on the N-ly line of said Lot 6 which is 10 Feet W-ly of the NE corner of said Lot 6; thence E-ly along said N-ly line 10 Feet to said NE corner; thence S-ly along the E-ly line of said Lot 6 to the point of beginning.

have agreed to convey said property by Warranty Deed to the City of Cedar Rapids for consideration of \$218,000, and

WHEREAS, the Public Works Department has recommended Relocation Assistance to the OWNERS in an amount estimated to be \$20,000 for replacement housing assistance and incidental expenses, and,

WHEREAS, the Public Works Director recommends the City enter into an agreement to purchase the property at 4264 Cottage Grove Parkway SE per the previous City Council authorization and in accordance with the terms set forth in the Purchase Offer Voluntary Property Acquisition Program Conditional Offer to Buy Real Property and Acceptance, and

WHEREAS, the City Council has allocated Capital Improvement funds for the Sun Valley Flood Protection project (Fund 304, Dept ID 304000, Project 304224),

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the City Manager and the City Clerk are hereby authorized to execute the Purchase Offer Voluntary Property Acquisition Program Conditional Offer to Buy Real Property and Acceptance as described herein, and

BE IT FURTHER RESOLVED that the Purchase Offer Voluntary Property Acquisition Program Conditional Offer to Buy Real Property and Acceptance is hereby accepted and thereafter filed with the City of Cedar Rapids Finance Director, and

BE IT FURTHER RESOLVED that the City Attorney is authorized to review the abstract of title and upon approval by the City Attorney, the City Attorney or designee (the Real Estate Services Manager) shall finalize the transaction and authorize the City of Cedar Rapids Finance Director to issue payment(s) necessary in the amount of \$218,000, plus relocation benefits to Bradford J. and Kathleen M. Colton, Linn County Treasurer and lien holders, if applicable, per the Allocation of Proceeds, and

BE IT FURTHER RESOLVED that upon receipt, the Warranty Deed, Groundwater Hazard Statement and all other documents from Bradford J. and Kathleen M. Colton be accepted and recorded in the Office of the Linn County Recorder and thereafter filed with the City of Cedar Rapids Finance Director.

PASSED_DAY_TAG

LEG_PASSED_FAILED_TAG

MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG



4264 COTTAGE GROVE PKWY SE



VOLUNTARY PROPERTY ACQUISITION OF
4264 COTTAGE GROVE PARKWAY SE



Cadd File Name: W:\PROJECTS\GIS\SUB-PROJECTS - Miscellaneous Initial Project Numbering\331006 - 4264 Cottage Grove Pkwy SE\331006 Council Map.dwg



Council Agenda Item Cover Sheet

Submitting Department: Community Development - Housing

Presenter at Meeting: Paula Mitchell
E-mail Address: p.mitchell@cedar-rapids.org

Phone Number/Ext.: 319 286-5852

Alternate Contact Person: Erika Kubly
E-mail Address: e.kubly@cedar-rapids.org

Phone Number/Ext.: 319 286-5406

Description of Agenda Item: CONSENT AGENDA

Resolution authorizing execution of Amendment No. 1 to the Development Agreement with Commonwealth Senior Apartments, LP, extending the construction completion date to July 1, 2016.

CIP/DID #OB654103

EnvisionCR Element/Goal: StrengthenCR Goal 3: Adopt policies that create choices in housing types and prices throughout the City.

Background: On July 22, 2014, the City Council approved execution of a Development Agreement with Commonwealth Senior Apartments, LP for redevelopment of the historic Commonwealth Apartments. The City's participation in the form of \$437,000 in financial assistance, paid in ten annual installments of \$43,700, leveraged an award of Low Income Housing Tax Credits from the Iowa Finance Authority and an additional award of Historic Tax Credits.

The City's development agreement originally contemplated a December 31, 2015 completion date. However, a condition of the award of Historic Tax Credits is consultation with the State Historic Preservation Office and the National Parks Service to ensure the scope of work is consistent with approved treatments for historic properties. Due to unavoidable delays in the historic consultation process, the developer has submitted a request to amend the Development Agreement to extend the construction completion date to July 1, 2016. Construction is underway and it is anticipated that the project will be able to meet the revised timeline.

Action/Recommendation: Staff recommends adoption of the resolution.

Alternative Recommendation: Table the resolution and request additional information.

Time Sensitivity: N/A

Resolution Date: February 9, 2016

Budget Information: N/A

Local Preference Policy: NA

Recommended by Council Committee: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, on July 22, 2014, the City Council authorized Resolution No. 1001-07-14 authorizing executing of a Development Agreement with Commonwealth Senior Apartments, LP for redevelopment of the historic Commonwealth building; and

WHEREAS, the terms of the Development Agreement originally contemplated a December 31, 2015 construction completion date; and

WHEREAS, unavoidable delays in the historic consultation process as required for receipt of a portion of the project financing have resulted in an extension of the project construction timeline; and

WHEREAS, the parties have agreed that it is in the best interests of the program to amend the development agreement to extend the date of construction completion to allow for unavoidable delays and facilitate completion of the project.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the City Manager and City Clerk are authorized to execute Amendment No. 1 to the Development Agreement with Commonwealth Senior Apartments, LP, extending the deadline for construction completion to July 1, 2016.

PASSED_DAY_TAG

LEG_PASSED_FAILED_TAG

MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG



Council Agenda Item Cover Sheet

Submitting Department: Community Development - Housing

Presenter at Meeting: Amanda Vande Voorde
E-mail Address: a.vandevoorde@cedar-rapids.org

Phone Number/Ext.: 319 286-5817

Alternate Contact Person: Paula Mitchell
E-mail Address: p.mitchell@cedar-rapids.org

Phone Number/Ext.: 319 286-5852

Description of Agenda Item: CONSENT AGENDA

Resolutions authorizing execution of Assignment and Assumption of Development Agreements from Hobart Historic Restoration, LLC. to Cedar Valley Habitat for Humanity, Inc. for properties at 1100 K Street SW, 1104 K Street SW, and 1108 K Street SW participating in the fourth round of the SFNC program (**FLOOD**).

CIP/DID #OB540257

EnvisionCR Element/Goal: StrengthenCR Goal 4: Create a city that is affordable and accessible to all members of the community.

Background: The resolutions for City Council consideration provides for the execution of Assignment and Assumption of Development Agreements with the above listed developer and associated properties through the fourth round of the Single Family New Construction Program, known locally as the ROOTs program. The Development Agreements and Special Warranty Deeds previously executed on September 23, 2014, effectively conveyed City-owned property from the City of Cedar Rapids to Hobart Historic Restoration, LLC. The process of assignment and conveyance to Cedar Valley Habitat for Humanity, Inc. has been initiated as a result of Hobart Historic Restoration, LLC. opting to not pursue development of the associated properties through the ROOTs program. The Resolutions provide that the City consents to this assignment as Cedar Valley Habitat for Humanity, Inc. agrees to all terms and conditions of the original Development Agreement.

Highlights of the terms and conditions contained in the Agreement for Redevelopment are as follows:

- a) Property is being conveyed to the qualified developer based on the investment provided by the developer in the construction of a single-family home;
- b) Developer is responsible to resolve conflicts with adjacent property owners and purchasers that might result from the construction project;
- c) Developer is responsible for maintaining the property in accordance with all City and state codes;
- d) Developer shall comply with all program requirements pertaining to the sale of the property to a qualified buyer.

On October 8, 2013, by Resolution No. 1591-10-13, the City Council approved the Administrative Plan for the fourth round of the Single Family New Construction (SFNC) Program. The administrative plan limits development of homes to lots within the “Neighborhood Revitalization Area” of the flood inundation area. The administrative plan further directs the use of lots acquired by the City through the Voluntary Property Acquisition Program to be conveyed to the developer in consideration for the construction of the SFNC unit.

Through a competitive proposal process, developers submitted applications for the program which listed “preference sites” either owned by the City or being acquired through the Voluntary Property Acquisition Program. A team of City staff, members of the Home Builders Association, and the Neighborhood Planning Process Steering Committee evaluated the proposals based on:

- financial and performance capacity;
- experience with projects of similar scope;
- architectural design;
- compatibility with the existing neighborhood;
- green building practices; and
- marketing plan.

Action/Recommendation: City staff recommends approval of the resolution.

Alternative Recommendation: City Council may table and request additional information.

Time Sensitivity: N/A

Resolution Date: May 12, 2015

Budget Information: N/A

Local Preference Policy: NA

Recommended by Council Committee: NA

RESOLUTION NO. LEG_NUM_TAG

WHEREAS, on September 23, 2014, the City Council passed Resolution Nos. 1289-09-14, 1287-09-14, and 1288-09-14 authorizing execution of Development Agreements and Special Warranty Deeds with Hobart Historic Restoration, LLC for City-owned properties at 1100 K Street SW, 1104 K Street SW, and 1108 K Street SW participating in the fourth round of the Single Family New Construction Program, and

WHEREAS, Hobart Historic Restoration, LLC has opted to not proceed with construction of new single-family homes on said properties and seeks to convey the properties to an alternate participating developer, Cedar Valley Habitat for Humanity, Inc., and

WHEREAS, the City and participating Developers have come to mutual agreement as to the terms and conditions of the Assignment and Assumption of Development Agreements which is now ready for execution on behalf of the City,

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that on behalf of the City of Cedar Rapids, the City Manager and City Clerk are hereby authorized to execute the Assignment and Assumption of Development Agreements with Cedar Valley Habitat for Humanity, Inc.

BE IT FURTHER RESOLVED, that the City Manager and City Clerk are hereby authorized to execute the Assignment and Assumption of Development Agreements effectuating the conveyance of properties at 1100 K Street SW, 1104 K Street SW, and 1108 K Street SW to Cedar Valley Habitat for Humanity, Inc. in accordance with the original Development Agreements and that the resolutions and agreements be recorded in the Office of the Linn County Recorder.

PASSED_DAY_TAG

LEG_PASSED_FAILED_TAG

MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG



Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at meeting: Doug Wilson, PE

Phone Number/Extension: 5141

E-mail Address: d.wilson@cedar-rapids.org

Alternate Contact Person: Gary Petersen, PE

Phone Number/Extension: 5153

E-mail Address: g.petersen@cedar-rapids.org

Description of Agenda Item: Purchases, contracts and agreements

Resolution awarding and approving contract in the amount of \$1,703,825.76, plus incentive up to \$25,000, bond and insurance of Metro Pavers, Inc. for the 18th Street SW Extension from Wilson Avenue to 16th Avenue PCC Pavement – Grade and Replace project (estimated cost is \$2,329,537).

CIP/DID #301500-06

EnvisionCR Element/Goal: ConnectCR Goal 3: Establish a network of complete streets.

Background:

Metro Pavers, Inc. Iowa, City, IA	\$1,703,825.76
Possible Incentive	\$ 25,000.00
Total Award	\$1,728,825.76
Rathje Construction Co., Marion, IA	\$1,796,931.84
Pirc-Tobin Construction Co., Alburnett, IA	\$1,825,789.05
Horsfield Construction, Inc. & Subsidiary, Epworth, IA	\$1,937,405.69
Tschiggfrie Excavating, Co., Dubuque, IA	\$2,150,092.65
Ricklefs Excavating, Ltd., Anamosa, IA	\$2,417,559.89

Metro Pavers, Inc. submitted the lowest of the bids received on January 20, 2016 in the office of the Iowa Department of Transportation, Ames, IA for the 18th Street SW Extension from Wilson Avenue to 16th Avenue PCC Pavement – Grade and Replace project. The bid is within the approved budget. Construction work is anticipated to begin this spring and expected to be completed within 100 working days.

Action/Recommendation: The Public Works Department recommends approval of the Resolution to award and approve contract in the amount of \$1,703,825.76, plus incentive up to \$25,000, bond and insurance of Metro Pavers, Inc. for the 18th Street SW Extension from Wilson Avenue to 16th Avenue PCC Pavement – Grade and Replace project.

Alternative Recommendation: If Council chooses not to award the contract for said project, the project could not go forward as proposed unless the bidding process is repeated.

Time Sensitivity: Normal. Chapter 26.10 of the Code of Iowa requires the Bid security to be returned within 30 days after the bid opening. Deferral of the contract award after February 9, 2016 may require re-bidding and affect the construction schedule for the improvements.

Resolution Date: February 9, 2016

Budget Information: 301/301000/301500

Local Preference Policy: No

Explanation: NA

Recommended by Council Committee: Yes

Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

ACCEPTING PROPOSAL, AWARDING CONTRACT, APPROVING CONTRACT

WHEREAS, on January 2, 2016 the City Council adopted a motion that directed the City Clerk to publish notice of a public hearing on the plans, specifications, form of contract and estimated cost for the 18th Street SW Extension from Wilson Avenue to 16th Avenue PCC Pavement – Grade and Replace project (CIP No. 301500-06) (IDOT Project No. STP-A-1187(771)—86-57) public improvement project for the City of Cedar Rapids, Iowa, and

WHEREAS, said notice was published in the Cedar Rapids Gazette on January 12, 2016 pursuant to which a public hearing was held on January 12, 2016, and

WHEREAS, sealed bids were received by the Iowa Department of Transportation in Ames, Iowa, on January 20, 2016 for the 18th Street SW Extension from Wilson Avenue to 16th Avenue PCC Pavement – Grade and Replace project (CIP No. 301500-06) (IDOT Project No. STP-A-1187(771)—86-57) for the City of Cedar Rapids, Iowa, and on January 20, 2016 the Iowa Department of Transportation informed the City of Cedar Rapids of the results of the bidding, and

WHEREAS, the Public Works Director/City Engineer, or designee, has now reported the results of the bidding and made recommendations thereon to the City Council on January 26, 2016, and

WHEREAS, the following proposals were received:

Metro Pavers, Inc. Iowa, City, IA	\$1,703,825.76
Possible Incentive	<u>\$ 25,000.00</u>
Total Award	\$1,728,825.76
Rathje Construction Co., Marion, IA	\$1,796,931.84
Pirc-Tobin Construction Co., Alburnett, IA	\$1,825,789.05
Horsfield Construction, Inc. & Subsidiary, Epworth, IA	\$1,937,405.69
Tschiggfrie Excavating, Co., Dubuque, IA	\$2,150,092.65
Ricklefs Excavating, Ltd., Anamosa, IA	\$2,417,559.89

, and

WHEREAS, general ledger coding to be as follows: \$1,728,825.76; \$1,265,978.29 301-301000-301500; \$108,289.25 301-301000-7970-301500, \$180,549.62 306-306000-306203, \$174,008.60 625-625000-625884-2010029, and

NOW THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA as follows:

1. The results of the bidding as conducted by the Iowa Department of Transportation, and the Public Works Director/City Engineer's or designee, report and recommendation thereon at its next meeting are hereby ratified and approved;

2. Metro Pavers, Inc. is the lowest responsive, responsible bidder on said work and the City Engineer, or his designee, has recommended that the City accept its bid and award the contract to it;
3. Subject to approval of the Equal Employment Opportunity Office and registration with the Department of Labor, the Bid of Metro Pavers, Inc. is hereby accepted, with the inclusion of the incentive clause, and the contract for this public improvement is hereby awarded to Metro Pavers, Inc.
4. The City Manager and City Clerk are hereby directed to sign and execute a contract with said contractor for the construction of the above-described public improvements;

BE IT FURTHER RESOLVED that upon execution by the City Manager and City Clerk, said contract is approved, subject to approval of the bond and insurance by the City of Cedar Rapids Risk Manager and filing of the same with the City of Cedar Rapids Finance Director.

PASSED_DAY_TAG

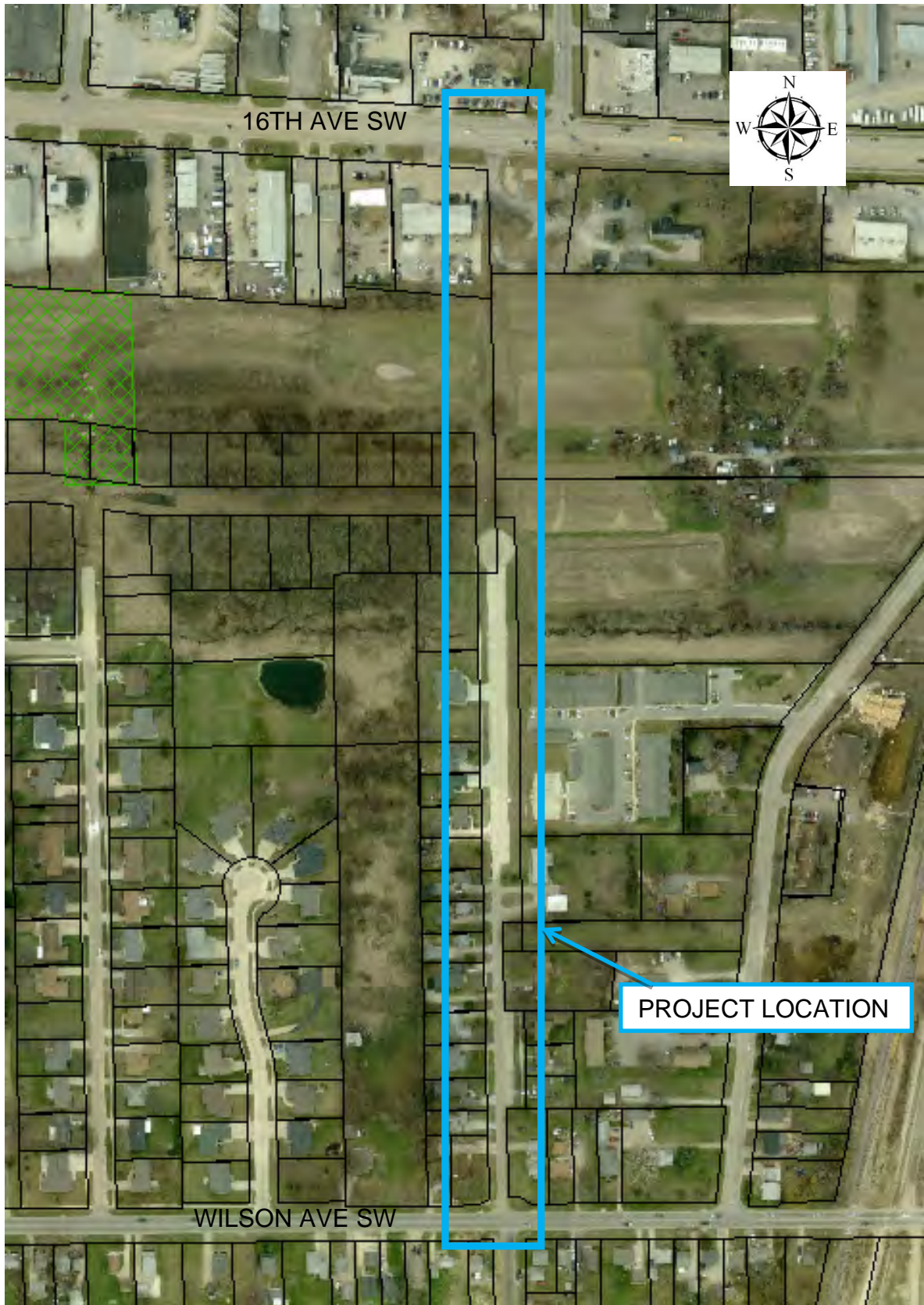
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MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG





Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at meeting: Doug Wilson, PE
E-mail Address: d.wilson@cedar-rapids.org

Phone Number/Extension: 5141

Alternate Contact Person: Tim Mroch, PE
E-mail Address: t.mroch@cedar-rapids.org

Phone Number/Extension: 5703

Description of Agenda Item: Purchases, contracts and agreements

Resolution awarding and approving contract in the amount of \$1,225,252.34 plus incentive up to \$36,000, bond and insurance of Horsfield Construction, Inc. for the 74th Street NE from White Ivy Place to C Avenue NE Roadway Improvements project (estimated cost is \$2,044,000).

(Paving for Progress)

CIP/DID #3012050-02

EnvisionCR Element/Goal: ConnectCR Goal 3: Establish a network of complete streets.

Background:

Horsfield Construction, Inc. (Epworth, IA)	\$1,225,252.34
Incentive up to	\$ 36,000.00
Total	\$1,261,252.34
Rathje Construction Co. (Marion, IA)	\$1,249,015.34
Pirc Tobin Construction, Inc. (Alburnett, IA)	\$1,411,527.40
Ricklefs Engineering, Ltd. (Anamosa, IA)	\$1,436,631.87
Dave Schmitt Construction (Cedar Rapids, IA)	\$1,458,185.55
E & F Paving Company, LLC (Cedar Rapids, IA)	\$1,705,873.80
Tschiggfrie Excavating (Dubuque, IA)	\$1,897,568.45

Horsfield Construction, Inc. submitted the lowest of the bids received on January 13, 2016 for the 74th Street NE from White Ivy Place to C Avenue NE Roadway Improvements project. The bid is within the approved budget. Construction work is anticipated to begin this spring and expected to be completed within 154 calendar days.

The Instructions to Bidders (Section 200 14.01) and contract documents require contractor bids based on unit price. Accordingly, the bid of Pirc-Tobin Construction, Inc. was corrected to be 1,411,527.40, based on the unit prices submitted and the correct bid quantity totals.

Action/Recommendation: The Public Works Department recommends approval of the Resolution to award and approve contract in the amount of \$1,225,252.34 plus incentive up to \$36,000, bond and insurance of Horsfield Construction, Inc. for the 74th Street NE from White Ivy Place to C Avenue NE Roadway Improvements project.

Alternative Recommendation: If Council chooses not to award the contract for said project, the project could not go forward as proposed unless the bidding process is repeated.

Time Sensitivity: Normal. Chapter 26.10 of the Code of Iowa requires the Bid security to be returned within 30 days after the bid opening. Deferral of the contract award after February 9, 2016 may require re-bidding and affect the construction schedule for the improvements.

Resolution Date: February 9, 2016

Budget Information: 301/3012050/3012050 SLOST

Local Preference Policy: NA

Explanation: NA

Recommended by Council Committee: NA

Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

ACCEPTING PROPOSAL, AWARDING CONTRACT, APPROVING CONTRACT

WHEREAS, on December 15, 2015 the City Council adopted a motion that directed the City Clerk to publish notice to bidders and publish notice of a public hearing on the plans, specifications, form of contract and cost estimate for the 74th Street NE from White Ivy Place to C Avenue NE Roadway Improvements (Contract No. 3012050-02) public improvement project for the City of Cedar Rapids, Iowa, and

WHEREAS, said notice was published in the Cedar Rapids Gazette on January 2, 2016 pursuant to which a public hearing was held on January 12, 2016, and

WHEREAS, the following bids were received, opened and announced on January 13, 2016 by the City Engineer, or designee, and said officer has reported the results of the bidding and made recommendations thereon to the City Council at its next meeting on January 26, 2016:

Horsfield Construction, Inc. (Epworth, IA)	\$1,225,252.34
Incentive up to	\$ 36,000.00
Total	\$1,261,252.34
Rathje Construction Co. (Marion, IA)	\$1,249,015.34
Pirc Tobin Construction, Inc. (Alburnett, IA)	\$1,411,527.40
Ricklefs Engineering, Ltd. (Anamosa, IA)	\$1,436,631.87
Dave Schmitt Construction (Cedar Rapids, IA)	\$1,458,185.55
E & F Paving Company, LLC (Cedar Rapids, IA)	\$1,705,873.80
Tschiggfrie Excavating (Dubuque, IA)	\$1,897,568.45

AND WHEREAS, the Instructions to Bidders (Section 200 14.01) and contract documents require contractor bids based on unit price. Accordingly, the bid of Pirc-Tobin Construction, Inc. was corrected to be \$1,411,527.40, based on the unit prices submitted and the correct bid quantity totals, and

WHEREAS, general ledger coding for this public improvement shall be as follows: \$1,261,252.34 301-301000-7970-3012050.

NOW THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA as follows:

1. The recitals contained hereinabove are found to be true and correct.
2. The previous delegation to the City Engineer, or his designee, to receive, open, and publicly announce the bids, and report the results thereof to the City Council at its next meeting is hereby ratified and approved;
3. Horsfield Construction, Inc. is the lowest responsive, responsible bidder on said work and the City Engineer, or his designee, has recommended that the City accept its bid and award the contract to it;
4. Subject to registration with the Department of Labor, the Bid of Horsfield Construction, Inc. is hereby accepted, with the inclusion of the incentive clause, and the contract for this public improvement is hereby awarded to Horsfield Construction, Inc.

5. [74th Street NE from White IvyPlace to C Avenue NE Roadway Improvements](#)The City Manager and City Clerk are hereby directed to sign and execute a contract with said contractor for the construction of the above-described public improvements;

BE IT FURTHER RESOLVED that the bid securities of the unsuccessful bidders be returned to them by the City Clerk, and

BE IT FURTHER RESOLVED that upon execution by the City Manager and City Clerk, said contract is approved, subject to approval of the bond and insurance by the City of Cedar Rapids Risk Manager and filing of the same with the City of Cedar Rapids Finance Director.

PASSED_DAY_TAG

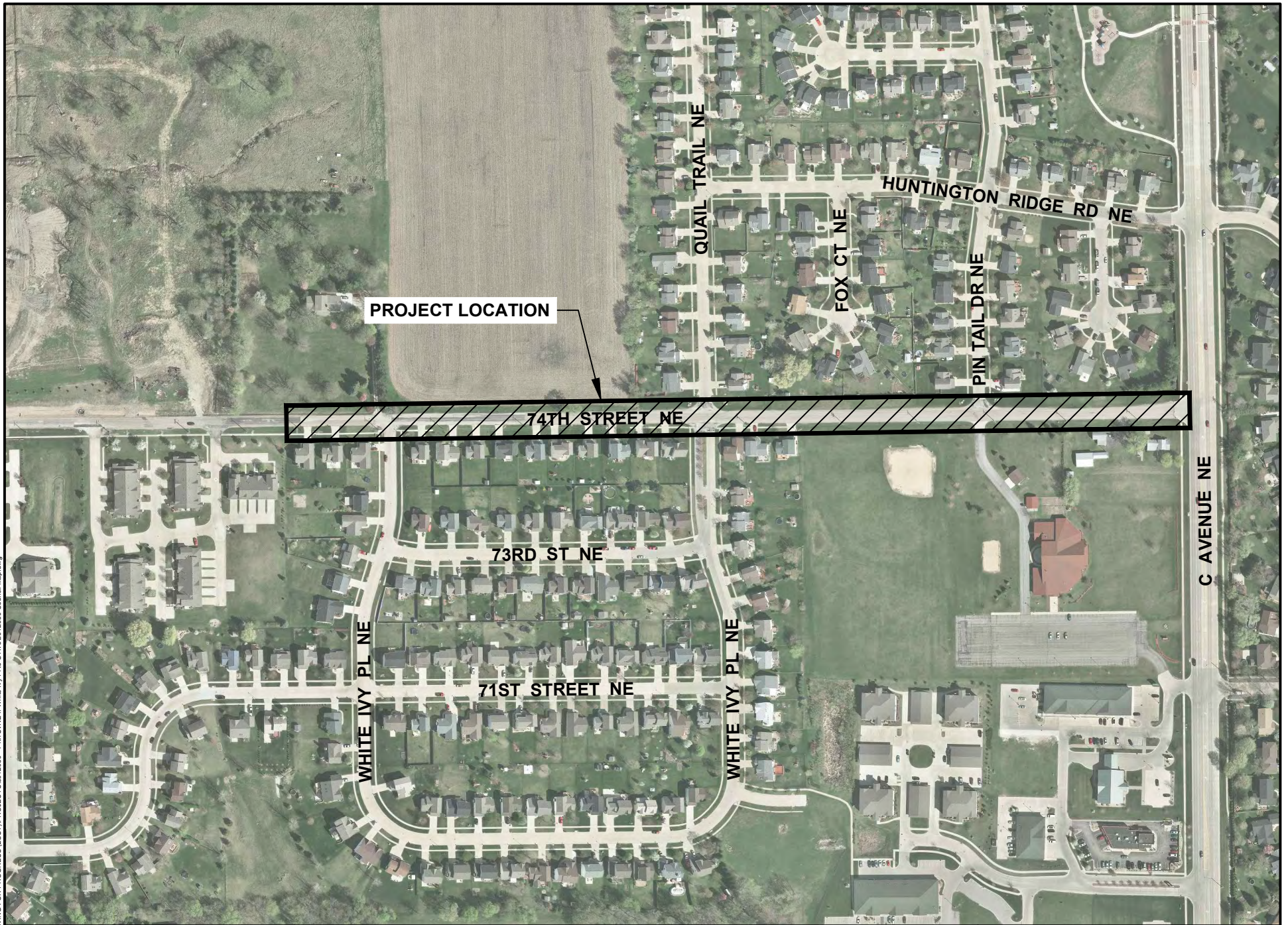
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MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG





Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at meeting: Gary Petersen, PE **Phone Number/Extension:** 5153
E-mail Address: g.petersen@cedar-rapids.org

Alternate Contact Person: Doug Wilson, PE **Phone Number/Extension:** 5141
E-mail Address: d.wilson@cedar-rapids.org

Description of Agenda Item: Purchases, contracts and agreements
 Resolution awarding and approving contract in the amount of \$2,180,979.80 plus incentive up to \$60,000, bond and insurance of Horsfield Construction, Inc. & Subsidiary for the C Avenue NE Improvements from Collins Road to Blairs Ferry Road PCC Pavement – Grade and Replace project (estimated cost is \$2,313,000).
 CIP/DID #301612-04

EnvisionCR Element/Goal: ConnectCR Goal 2: Build a complete network of connected streets.

Background:

Horsfield Construction, Inc. & Subsidiary, Epworth, IA	\$2,180,979.80
Incentive up to	\$ 60,000.00
Total	\$2,240,979.80
Rathje Construction Co., Marion, IA	\$2,211,807.72
Pirc-Tobin Construction, Inc., Alburnett, IA	\$2,319,336.86
Croell and Subsidiary, Cedar Rapids, IA	\$2,445,955.84
Metro Pavers, Inc., Iowa City, IA	\$2,460,804.73
Hawkeye Paving Corp., Bettendorf, IA	\$2,859,512.20
Tschiggfrie Excavating Co., Dubuque, IA	\$3,121,913.65

Horsfield Construction, Inc. & Subsidiary submitted the lowest of the bids received on January 20, 2016 in the office of the Iowa Department of Transportation, Ames, Iowa for the the C Avenue NE Improvements from Collins Road to Blairs Ferry Road PCC Pavement – Grade and Replace project. The bid is within the approved budget. Construction work is anticipated to begin this spring and expected to be completed within 182 calendar days.

Action/Recommendation: The Public Works Department recommends approval of the Resolution to award and approve contract in the amount of \$2,180,979.80 plus incentive up to \$60,000, bond and insurance of Horsfield Construction, Inc. & Subsidiary for the C Avenue NE Improvements from Collins Road to Blairs Ferry Road PCC Pavement – Grade and Replace project.

Alternative Recommendation: If Council chooses not to award the contract for said project, the project could not go forward as proposed unless the bidding process is repeated.

Time Sensitivity: Normal. Chapter 26.10 of the Code of Iowa requires the Bid security to be returned within 30 days after the bid opening. Deferral of the contract award after February 9, 2016 may require re-bidding and affect the construction schedule for the improvements.

Resolution Date: February 9, 2016

Budget Information:

CIP No. 301612, NA	\$2,364,180 *
CIP No. 306227, NA	\$ <u>212,990 **</u>
Total Construction Budget	\$3,466,595

* \$1,569,335 Surface Transportation Funding (STP)

** \$100,320 Iowa Clean Air Attainment Program (ICAAP)

Local Preference Policy: NA

Explanation: NA

Recommended by Council Committee: NA

Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

ACCEPTING PROPOSAL, AWARDING CONTRACT, APPROVING CONTRACT

WHEREAS, on December 15, 2015 the City Council adopted a motion that directed the City Clerk to publish notice of a public hearing on the plans, specifications, form of contract and estimated cost for the C Avenue NE Improvements from Collins Road to Blairs Ferry Road PCC Pavement – Grade and Replace (CIP No.301612-04) (IDOT Project No. STP-U-1187(703)—70-57) public improvement project for the City of Cedar Rapids, Iowa, and

WHEREAS, said notice was published in the Cedar Rapids Gazette on January 2, 2016 pursuant to which a public hearing was held on January 12, 2016, and

WHEREAS, sealed bids were received by the Iowa Department of Transportation in Ames, Iowa, on January 20, 2016 for the C Avenue NE Improvements from Collins Road to Blairs Ferry Road PCC Pavement – Grade and Replace project (CIP No.301612-04) (IDOT Project No. STP-U-1187(703)—70-57) for the City of Cedar Rapids, Iowa, and on January 20, 2016 the Iowa Department of Transportation informed the City of Cedar Rapids of the results of the bidding, and

WHEREAS, the Public Works Director/City Engineer, or designee, has now reported the results of the bidding and made recommendations thereon to the City Council on January 26, 2016, and

WHEREAS, the following proposals were received:

Horsfield Construction, Inc. & Subsidiary, Epworth, IA	\$2,180,979.80
Incentive up to	<u>\$ 60,000.00</u>
Total	\$2,240,979.80
Rathje Construction Co., Marion, IA	\$2,211,807.72
Pirc-Tobin Construction, Inc., Alburnett, IA	\$2,319,336.86
Croell and Subsidiary, Cedar Rapids, IA	\$2,445,955.84
Metro Pavers, Inc., Iowa City, IA	\$2,460,804.73
Hawkeye Paving Corp., Bettendorf, IA	\$2,859,512.20
Tschiggfrie Excavating Co., Dubuque, IA	\$3,121,913.65

WHEREAS, general ledger coding to be as follows: \$2,240,979.80; \$2,060,059.80 301-301000-301612; \$177,400 306-306000-306227; \$3,520 625-625000-625884-6252012021, and

NOW THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA as follows:

1. The results of the bidding as conducted by the Iowa Department of Transportation, and the Public Works Director/City Engineer's or designee, report and recommendation thereon at its next meeting are hereby ratified and approved;

2. Horsfield Construction, Inc. & Subsidiary is the lowest responsive, responsible bidder on said work and the City Engineer, or his designee, has recommended that the City accept its bid and award the contract to it;
3. Subject to approval of the Equal Employment Opportunity Office and registration with the Department of Labor, the Bid of Horsfield Construction, Inc. & Subsidiary is hereby accepted, with the inclusion of the incentive clause, and the contract for this public improvement is hereby awarded to Horsfield Construction, Inc. & Subsidiary.
4. The City Manager and City Clerk are hereby directed to sign and execute a contract with said contractor for the construction of the above-described public improvements;

BE IT FURTHER RESOLVED that upon execution by the City Manager and City Clerk, said contract is approved, subject to approval of the bond and insurance by the City of Cedar Rapids Risk Manager and filing of the same with the City of Cedar Rapids Finance Director.

PASSED_DAY_TAG

LEG_PASSED_FAILED_TAG

MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG

BLAIRS FERRY ROAD NE

Rockwell Collins, Inc.

Rockwell Collins, Inc.

Rockwell Collins, Inc.

Rockwell Collins, Inc.

PROJECT LOCATION

C AVENUE NE

COLLINS ROAD NE



Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at meeting: Dave Wallace, PE
E-mail Address: d.wallace@cedar-rapids.org

Phone Number/Extension: 5814

Alternate Contact Person: Garrett Prestegard, PE
E-mail Address: g.prestegard@cedar-rapids.org

Phone Number/Extension: 5115

Description of Agenda Item: Purchases, contracts and agreements
 Resolution awarding and approving contract in the amount of \$59,629.75 plus incentive up to \$2,000, bond and insurance of SulzCo, LLC for the Hidden Hollow Lane East of 16th Street NW Storm Sewer Improvements project (estimated cost is \$68,000).
 CIP/DID #304441-02

EnvisionCR Element/Goal: ProtectCR Goal 1: Protect Cedar Rapids from flooding and other hazards.

Background:

SulzCo, LLC, Muscatine, IA	\$59,629.75
Possible Incentive	\$ 2,000.00
Total Award	\$61,629.75
Connolly Construction, Inc. Peosta, IA	\$61,437.25
Ricklefs Excavating, Ltd., Anamosa, IA	\$62,621.00
Vieth Construction, Corp., Cedar Falls, IA	\$65,637.00
Rathje Construction Co., Marion, IA	\$65,793.25
Tschiggfrie Excavating, Dubuque, IA	\$79,423.00
Yordi Excavating, Inc., Cedar Rapids, IA	\$81,090.35

SulzCo, LLC submitted the lowest of the bids received on February 2, 2016 for the Hidden Hollow Lane East of 16th Street NW Storm Sewer Improvements project. The bid is within the approved budget. Construction work is anticipated to begin this spring and expected to be completed within 15 working days.

Action/Recommendation: The Public Works Department recommends approval of the Resolution to award and approve contract in the amount of \$59,629.75 plus incentive up to \$2,000, bond and insurance of SulzCo, LLC for the Hidden Hollow Lane East of 16th Street NW Storm Sewer Improvements project.

Alternative Recommendation: If Council chooses not to award the contract for said project, the project could not go forward as proposed unless the bidding process is repeated.

Time Sensitivity: Normal. Deferral of the contract award after February 9, 2016 may require re-bidding and affect the construction schedule for the improvements.

Resolution Date: February 9, 2016

Budget Information: 304/304000/304441

Local Preference Policy: NA

Explanation: This project is a Public Improvement Project and as such per State Code the City is required to award the construction contract to the lowest responsive, responsible bidder. The Buy Local Policy does not apply in this situation.

Recommended by Council Committee: NA

Explanation: NA

RESOLUTION NO. LEG_NUM_TAG

ACCEPTING PROPOSAL, AWARDING CONTRACT, APPROVING CONTRACT

WHEREAS, the following competitive quotations were received, opened, and announced on February 2, 2016 by the City Engineer, or designee, for the Hidden Hollow Lane East of 16th Street NW Storm Sewer Improvements project (Contract No. 304441-02):

SulzCo, LLC, Muscatine, IA	\$59,629.75
Possible Incentive	<u>\$ 2,000.00</u>
Total Award	\$61,629.75
Connolly Construction, Inc. Peosta, IA	\$61,437.25
Ricklefs Excavating, Ltd., Anamosa, IA	\$62,621.00
Vieth Construction, Corp., Cedar Falls, IA	\$65,637.00
Rathje Construction Co., Marion, IA	\$65,793.25
Tschiggfrie Excavating, Dubuque, IA	\$79,423.00
Yordi Excavating, Inc., Cedar Rapids, IA	\$81,090.35

, and

WHEREAS, general ledger coding for this public improvement project shall be as follows: \$61,629.75 304-304000-304441

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA as follows:

1. The previous delegation to the City Engineer, or his designee, to receive, open, and publicly announce the competitive quotations is hereby ratified and approved;
2. SulzCo, LLC is the lowest responsive, responsible bidder on said work and the City Engineer, or his designee, has recommended that the City accept its competitive quotation and award the contract to it;
3. Subject to registration with the Department of Labor, the Competitive Quotation of SulzCo, LLC is hereby accepted, with the inclusion of the incentive clause, and the contract for this public improvement is hereby awarded to SulzCo, LLC.
4. The City Manager and City Clerk are hereby directed to sign and execute a contract with said contractor for the construction of the above-described public improvements;

BE IT FURTHER RESOLVED that upon execution by the City Manager and City Clerk, said contract is approved, subject to approval of the bond and insurance by the City of Cedar Rapids Risk Manager and filing of the same with the City of Cedar Rapids Finance Director.

PASSED_DAY_TAG

LEG_PASSED_FAILED_TAG

MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG



Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at meeting: Dave Wallace, PE
E-mail Address: d.wallace@cedar-rapids.org

Phone Number/Extension: 5814

Alternate Contact Person: Garrett Prestegard, PE
E-mail Address:

Phone Number/Extension: 5115
 g.prestegard@cedar-rapids.org

Description of Agenda Item: REGULAR AGENDA

Report on bids and resolution awarding and approving contract in the amount of \$68,696.80 plus incentive up to \$3,000, bond and insurance of Rathje Construction Company for the 1st Avenue East South of 24th Street Drive SE Storm Sewer Improvements project (estimated cost is \$89,000).

CIP/DID #304391-03

EnvisionCR Element/Goal: ProtectCR Goal 1: Protect Cedar Rapids from flooding and other hazards.

Background:

Rathje Construction Company, Marion, IA	\$68,696.80
Incentive up to	<u>\$ 3,000.00</u>
Total	\$71,696.80
Yordi Excavating, Inc., Cedar Rapids, IA	\$80,291.00
Connolly Construction, Inc., Peosta, IA	\$81,412.10
Zinser Grading & Excavating, LLC, Walford, IA	\$85,254.65
SulzCo, LLC, Muscatine, IA	\$85,906.00
B.G. Brecke, Inc., Cedar Rapids, IA	\$87,497.00
Pirc-Tobin Construction, Inc., Alburnett, IA	\$88,120.75
Tschiggfrie Excavating, Dubuque, IA	\$92,308.00

Rathje Construction Company submitted the lowest of the bids received on January 27, 2016 for the 1st Avenue East South of 24th Street Drive SE Storm Sewer Improvements project. The bid is within the approved budget. Construction work is expected to begin this spring and anticipated to be completed within 20 working days.

Action/Recommendation: The Public Works Department recommends approval of the Resolution to award and approve contract in the amount of \$68,696.80 plus incentive up to \$3,000, bond and insurance of Rathje Construction Company for the 1st Avenue East South of 24th Street Drive SE Storm Sewer Improvements project.

Alternative Recommendation: If Council chooses not to award the contract for said project, the project could not go forward as proposed unless the bidding process is repeated.

Time Sensitivity: Normal. Chapter 26.10 of the Code of Iowa requires the Bid security to be returned within 30 days after the bid opening. Deferral of the contract award after February 9, 2016 may require re-bidding and affect the construction schedule for the improvements.

Resolution Date: February 9, 2016

Budget Information: Fund 304, Dept ID 304000, Project 304391 (\$101,222 NA)

Local Preference Policy: NA

Explanation: NA

Recommended by Council Committee: NA

Explanation: NA



January 27, 2016

City Council
City of Cedar Rapids

RE: Report on bids as read for the 1st Avenue East South of 24th Street Drive SE Storm Sewer Improvements, Contract Number 304391-03

Dear City Council:

Bids were received on January 27, 2016 for the 1st Avenue East South of 24th Street Drive SE Storm Sewer Improvements project as follows:

Rathje Construction Co., Marion, IA	\$68,696.80
Yordi Excavating, Inc., Cedar Rapids, IA	\$80,291.00
Connolly Construction, Inc., Peosta, IA	\$81,412.10
Zinser Grading & Excavating, LLC, Walford, IA	\$85,254.65
SulzCo, LLC, Muscatine, IA	\$85,906.00
B.G. Brecke, Inc., Cedar Rapids, IA	\$87,497.00
Pirc-Tobin Construction, Inc., Alburnett, IA	\$88,120.75
Tschiggfrie Excavating, Dubuque, IA	\$92,308.00

The engineers cost opinion for this work is \$89,000. It is recommended the bids be reviewed by City staff and an action to award or not be presented separately for Council consideration.

Sincerely,

THE CITY OF CEDAR RAPIDS PUBLIC WORKS DEPARTMENT

A handwritten signature in blue ink, appearing to read "Lee Tippe".

Lee Tippe, P.E.
Project Engineer II

LJT/cap

cc: Jennifer L. Winter, P.E. Public Works Director
Nathan Kampman, P.E., City Engineer

RESOLUTION NO. LEG_NUM_TAG

ACCEPTING PROPOSAL, AWARDING CONTRACT, APPROVING CONTRACT

WHEREAS, on January 12, 2016 the City Council adopted a motion that directed the City Clerk to publish notice to bidders and publish notice of a public hearing on the plans, specifications, form of contract and cost estimate for the 1st Avenue East South of 24th Street Drive SE Storm Sewer Improvements (Contract No. 304391-03) public improvement project for the City of Cedar Rapids, Iowa, and

WHEREAS, said notice was published in the Cedar Rapids Gazette on January 16, 2016 pursuant to which a public hearing was held on January 26, 2016, and

WHEREAS, the following bids were received, opened and announced on January 27, 2016 by the City Engineer, or designee, and said officer has reported the results of the bidding and made recommendations thereon to the City Council at its next meeting on February 9, 2016:

Rathje Construction Company, Marion, IA	\$68,696.80
Incentive up to	<u>\$ 3,000.00</u>
Total	\$71,696.80
Yordi Excavating, Inc., Cedar Rapids, IA	\$80,291.00
Connolly Construction, Inc., Peosta, IA	\$81,412.10
Zinser Grading & Excavating, LLC, Walford, IA	\$85,254.65
SulzCo, LLC, Muscatine, IA	\$85,906.00
B.G. Brecke, Inc., Cedar Rapids, IA	\$87,497.00
Pirc-Tobin Construction, Inc., Alburnett, IA	\$88,120.75
Tschiggfrie Excavating, Dubuque, IA	\$92,308.00

WHEREAS, general ledger coding for this public improvement shall be as follows:
\$71,696.80 304-304000-304391.

NOW THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA as follows:

1. The previous delegation to the City Engineer, or his designee, to receive, open, and publicly announce the bids, and report the results thereof to the City Council at its next meeting is hereby ratified and approved;
2. Rathje Construction Company is the lowest responsive, responsible bidder on said work and the City Engineer, or his designee, has recommended that the City accept its bid and award the contract to it;
3. Subject to registration with the Department of Labor, the Bid of Rathje Construction Company is hereby accepted, with the inclusion of the incentive clause, and the contract for this public improvement is hereby awarded to Rathje Construction Company.
4. The City Manager and City Clerk are hereby directed to sign and execute a contract with said contractor for the construction of the above-described public improvements;

BE IT FURTHER RESOLVED that the bid securities of the unsuccessful bidders be returned to them by the City Clerk, and

BE IT FURTHER RESOLVED that upon execution by the City Manager and City Clerk, said contract is approved, subject to approval of the bond and insurance by the City of Cedar Rapids Risk Manager and filing of the same with the City of Cedar Rapids Finance Director.

PASSED_DAY_TAG

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MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG



Cadd File Name: R:\PROJECT\SCIP\304391 23rd St SE Drainage\304391-03\304391 Council Map.dwg



**1ST AVENUE EAST SOUTH OF 24TH STREET DRIVE SE
STORM SEWER IMPROVEMENTS**





Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at meeting: Dave Wallace, PE
E-mail Address: d.wallace@cedar-rapids.org

Phone Number/Extension: 5814

Alternate Contact Person: Garrett Prestegard, PE
E-mail Address: g.prestegard@cedar-rapids.org

Phone Number/Extension: 5115

Description of Agenda Item: REGULAR AGENDA

Report on bids and resolution awarding and approving contract in the amount of \$429,450.20 plus incentive up to \$5,000, bond and insurance of Ricklefs Excavating, Ltd. for the 27th Street SW Between 28th Avenue and 29th Avenue Culvert Replacement project (estimated cost is \$528,000). (Dave Wallace)
 CIP/DID #304396-02

EnvisionCR Element/Goal: ProtectCR Goal 1: Protect Cedar Rapids from flooding and other hazards.

Background:

Ricklefs Excavating, Ltd., Anamosa, IA	\$429,450.20
Incentive up to	\$ 5,000.00
Total	\$434,450.20
Peterson Contractors, Inc., Reinbeck, IA	\$437,922.15
Rathje Construction Co., Marion, IA	\$443,298.70
Tschiggfrie Excavating, Dubuque, IA	*\$449,186.95
Eastern Iowa Excavating & Concrete, LLC, Cascade, IA	\$472,471.65
Vieth Construction Corp., Cedar Falls, IA	\$492,295.00
SulzCo, LLC, Muscatine, IA	\$547,216.45
Pirc-Tobin Construction, Inc., Alburnett, IA	\$549,857.50

*Addition error found in bid

Ricklefs Excavating, Ltd. submitted the lowest of the bids received on February 3, 2016 for the 27th Street SW Between 28th Avenue and 29th Avenue Culvert Replacement project. The bid is within the approved budget. Construction work is expected to begin this spring and anticipated to be completed within 60 calendar days.

The Instructions to Bidders (Section 200 14.01) and contract documents require contractor bids based on unit price. Accordingly, the bid of Tschiggfrie Excavating & Concrete, LLC was corrected to be \$449,186.95, based on the unit prices submitted and the correct bid quantity totals.

Action/Recommendation: The Public Works Department recommends approval of the Resolution to award and approve contract in the amount of \$429,450.20 plus incentive up to \$5,000, bond and insurance of Ricklefs Excavating, Ltd. for the 27th Street SW Between 28th Avenue and 29th Avenue Culvert project.

Alternative Recommendation: If Council chooses not to award the contract for said project, the project could not go forward as proposed unless the bidding process is repeated.

Time Sensitivity: Normal. Chapter 26.10 of the Code of Iowa requires the Bid security to be returned within 30 days after the bid opening. Deferral of the contract award after February 9, 2016 may require re-bidding and affect the construction schedule for the improvements.

Resolution Date: February 9, 2016

Budget Information: Fund 304, Dept ID 304000, Project 304396 (\$625,588 NA)

Local Preference Policy: NA

Explanation: NA

Recommended by Council Committee: NA

Explanation: NA



February 3, 2016

City Council
City of Cedar Rapids

RE: Report on bids as read for the 27th Street SW Between 28th Avenue and 29th Avenue Culvert, Contract Number 304396-02

Dear City Council:

Bids were received on February 3, 2016 for the 27th Street SW Between 28th Avenue and 29th Avenue Culvert project as follows:

Ricklefs Excavating, Ltd., Anamosa, IA	\$429,450.20
Peterson Contractors, Inc., Reinbeck, IA	\$437,922.15
Rathje Construction Co., Marion, IA	\$443,298.70
Tschiggfrie Excavating, Dubuque, IA	\$449,186.95
Eastern Iowa Excavating & Concrete, LLC, Cascade, IA	\$472,471.65
Vieth Construction Corp., Cedar Falls, IA	\$492,295.00
SulzCo, LLC, Muscatine, IA	\$547,216.45
Pirc-Tobin Construction, Inc., Alburnett, IA	\$549,857.50

The engineers cost opinion for this work is \$528,000. It is recommended the bids be reviewed by City staff and an action to award or not be presented separately for Council consideration.

Sincerely,

THE CITY OF CEDAR RAPIDS PUBLIC WORKS DEPARTMENT

A handwritten signature in blue ink, appearing to read "Garrett Prestegard".

Garrett Prestegard, P.E.
Project Engineer I

GP/cap

cc: Jennifer L. Winter, P.E. Public Works Director
Nathan Kampman, P.E., City Engineer

RESOLUTION NO. LEG_NUM_TAG

ACCEPTING PROPOSAL, AWARDING CONTRACT, APPROVING CONTRACT

WHEREAS, on January 12, 2016 the City Council adopted a motion that directed the City Clerk to publish notice to bidders and publish notice of a public hearing on the plans, specifications, form of contract and cost estimate for the 27th Street SW Between 28th Avenue and 29th Avenue Culvert Replacement (Contract No. 304396-02) public improvement project for the City of Cedar Rapids, Iowa, and

WHEREAS, said notice was published in the Cedar Rapids Gazette on January 16, 2016 pursuant to which a public hearing was held on January 26, 2016, and

WHEREAS, the following bids were received, opened and announced on February 3, 2016 by the City Engineer, or designee, and said officer has reported the results of the bidding and made recommendations thereon to the City Council at its next meeting on February 9, 2016:

Ricklefs Excavating, Ltd., Anamosa, IA	\$429,450.20
Incentive up to	<u>\$ 5,000.00</u>
Total	\$434,450.20
Peterson Contractors, Inc., Reinbeck, IA	\$437,922.15
Rathje Construction Co., Marion, IA	\$443,298.70
Tschiggfrie Excavating, Dubuque, IA	\$449,186.95
Eastern Iowa Excavating & Concrete, LLC, Cascade, IA	\$472,471.65
Vieth Construction Corp., Cedar Falls, IA	\$492,295.00
SulzCo, LLC, Muscatine, IA	\$547,216.45
Pirc-Tobin Construction, Inc., Alburnett, IA	\$549,857.50

AND WHEREAS, the Instructions to Bidders (Section 200 14.01) and contract documents require contractor bids based on unit price. Accordingly, the bid of Tschiggfrie Excavating was corrected to be \$449,186.95, based on the unit prices submitted and the correct bid quantity totals, and

WHEREAS, general ledger coding for this public improvement shall be as follows:
\$434,450.20 304-304000-304396 NA,

NOW THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA as follows:

1. The recitals contained hereinabove are found to be true and correct.
2. The previous delegation to the City Engineer, or his designee, to receive, open, and publicly announce the bids, and report the results thereof to the City Council at its next meeting is hereby ratified and approved;
3. Ricklefs Excavating, Ltd. is the lowest responsive, responsible bidder on said work and the City Engineer, or his designee, has recommended that the City accept its bid and award the contract to it;

4. Subject to registration with the Department of Labor, the Bid of Ricklefs Excavating, Ltd. is hereby accepted, with the inclusion of the incentive clause, and the contract for this public improvement is hereby awarded to Ricklefs Excavating, Ltd.
5. The City Manager and City Clerk are hereby directed to sign and execute a contract with said contractor for the construction of the above-described public improvements;

BE IT FURTHER RESOLVED that the bid securities of the unsuccessful bidders be returned to them by the City Clerk, and

BE IT FURTHER RESOLVED that upon execution by the City Manager and City Clerk, said contract is approved, subject to approval of the bond and insurance by the City of Cedar Rapids Risk Manager and filing of the same with the City of Cedar Rapids Finance Director.

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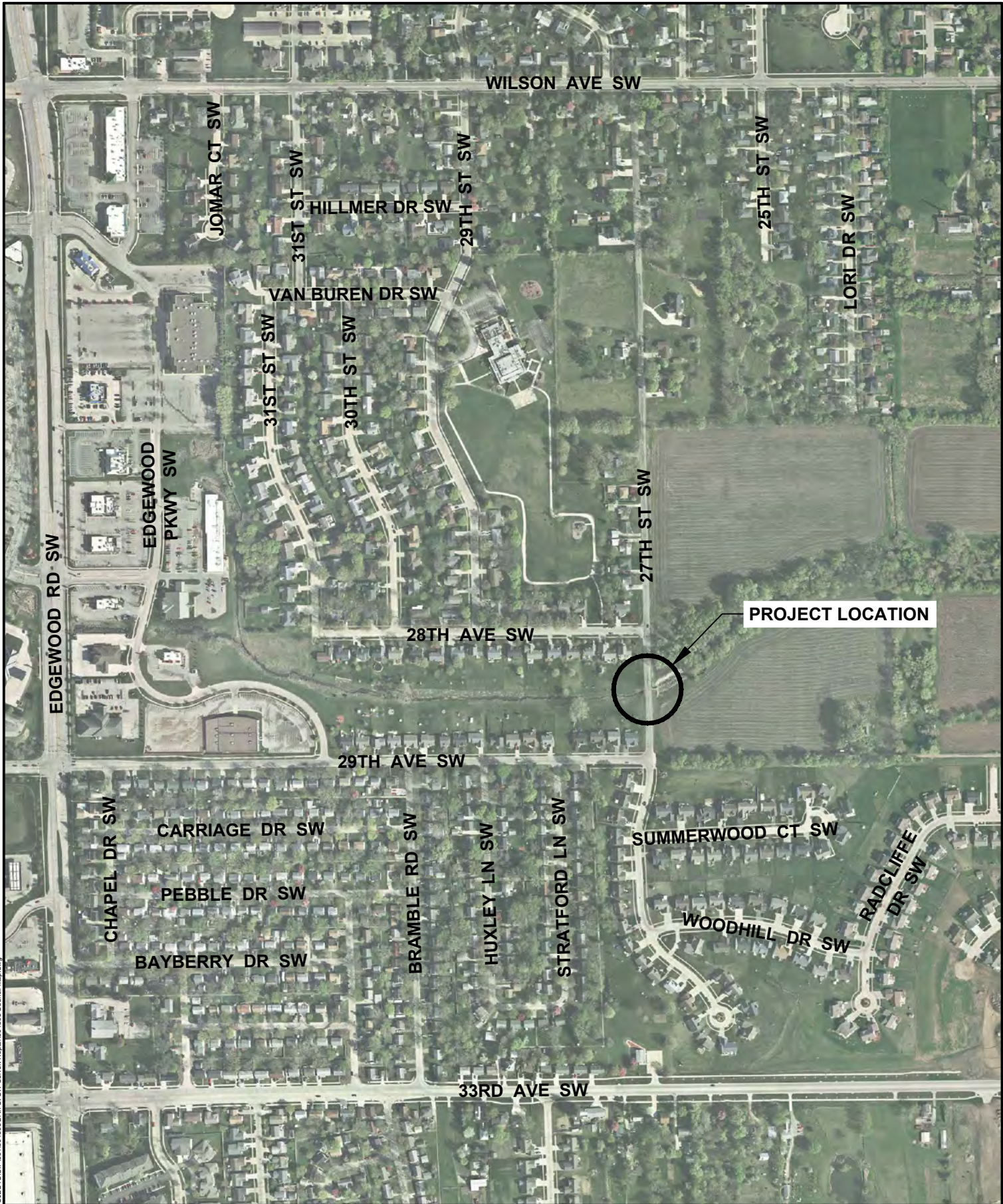
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MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG



PROJECT LOCATION

Cadd File Name: W:\PROJECTS\CI\304\304396\27th St SW Culvert Repair\304396_Corund Map.dwg



27TH STREET SW CULVERT REPLACEMENT PROJECT





Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at meeting: Doug Wilson, PE **Phone Number/Extension:** 5141
E-mail Address: d.wilson@cedar-rapids.org

Alternate Contact Person: Tim Mroch, PE **Phone Number/Extension:** 5703
E-mail Address: t.mroch@cedar-rapids.org

Description of Agenda Item: REGULAR AGENDA
 Report on bids and resolution awarding and approving contract in the amount of \$2,948,134.70 plus incentive up to \$160,000, bond and insurance of Rathje Construction Company for the 42nd Street NE from I-380 to Wenig Road NE Pavement and Water Main Rehabilitation project (estimated cost is \$3,550,000). (Doug Wilson) **(Paving for Progress)**
 CIP/DID #3012092-02

EnvisionCR Element/Goal: ConnectCR Goal 4: Improve the function and appearance of our key corridors.

Background:

Rathje Construction Company, Marion, IA	\$2,948,134.70
Incentive up to	\$ 160,000.00
Total	\$3,108,134.70
Dave Schmitt Construction Co., Cedar Rapids, IA	*\$3,249,656.95
Pirc-Tobin Construction, Inc., Alburnett, IA	\$3,379,883.75
Multiplication and addition errors found in bid.	

Rathje Construction Company submitted the lowest of the bids received on January 27, 2016 for the 42nd Street NE from I-380 to Wenig Road NE Pavement and Water Main Rehabilitation project. The bid is within the approved budget. Construction work is expected to begin this spring and anticipated to be completed by October 22, 2016 (except sodding).

The Instructions to Bidders (Section 200 14.01) and contract documents require contractor bids based on unit price. Accordingly, the bid of Dave Schmitt Construction Co. was corrected to be 3,249,706.95, based on the unit prices submitted and the correct bid quantity totals.

Action/Recommendation: The Public Works Department recommends approval of the Resolution to award and approve contract in the amount of \$2,948,134.70 plus incentive up to \$160,000, bond and insurance of Rathje Construction Company for the 42nd Street NE from I-380 to Wenig Road NE Pavement and Water Main Rehabilitation project.

Alternative Recommendation: If Council chooses not to award the contract for said project, the project could not go forward as proposed unless the bidding process is repeated.

Time Sensitivity: Normal. Chapter 26.10 of the Code of Iowa requires the Bid security to be returned within 30 days after the bid opening. Deferral of the contract award after January 26, 2016 may require re-bidding and affect the construction schedule for the improvements.

Resolution Date: February 9, 2016

Budget Information: 301/3012092/3012092 SLOST
306/306000/306074 NA
625/6250000/6250051-2014059 NA

Local Preference Policy: NA
Explanation: NA

Recommended by Council Committee: NA
Explanation: NA



January 27, 2016

City Council
City of Cedar Rapids

RE: Report on bids as read for the 42nd Street NE from I-380 to Wenig Road NE Pavement and Water Main Rehabilitation, Contract Number 3012092-02

Dear City Council:

Bids were received on January 27, 2016 for the 42nd Street NE from I-380 to Wenig Road NE Pavement and Water Main Rehabilitation project as follows:

Rathje Construction Company, Marion, IA	\$2,948,134.70
Dave Schmitt Construction Co., Cedar Rapids, IA	\$3,249,656.95
Pirc-Tobin Construction, Inc., Alburnett, IA	\$3,379,883.75

The engineers cost opinion for this work is \$3,550,000. It is recommended the bids be reviewed by City staff and an action to award or not be presented separately for Council consideration.

Sincerely,

THE CITY OF CEDAR RAPIDS PUBLIC WORKS DEPARTMENT

A handwritten signature in blue ink, appearing to read "Lee Tippe".

Lee Tippe
Project Engineer II

LJT/cap

cc: Jennifer L. Winter, P.E. Public Works Director
Nathan Kampman, P.E., City Engineer

RESOLUTION NO. LEG_NUM_TAG

ACCEPTING PROPOSAL, AWARDING CONTRACT, APPROVING CONTRACT

WHEREAS, on December 15, 2015 the City Council adopted a motion that directed the City Clerk to publish notice to bidders and publish notice of a public hearing on the plans, specifications, form of contract and cost estimate for the 42nd Street NE from I-380 to Wenig Road NE Pavement and Water Main Rehabilitation (Contract No. 3012092-02) public improvement project for the City of Cedar Rapids, Iowa, and

WHEREAS, said notice was published in the Cedar Rapids Gazette on January 2, 2016 pursuant to which a public hearing was held on January 12, 2016, and

WHEREAS, the following bids were received, opened and announced on January 20, 2016 by the City Engineer, or designee, and said officer has reported the results of the bidding and made recommendations thereon to the City Council at its next meeting on January 26, 2016:

Rathje Construction Company, Marion, IA	\$2,948,134.70
Incentive up to	\$ 160,000.00
Total	\$3,108,134.70
Dave Schmitt Construction Co., Cedar Rapids, IA	\$3,249,706.95
Pirc-Tobin Construction, Inc., Alburnett, IA	\$3,379,883.75

AND WHEREAS, the Instructions to Bidders (Section 200 14.01) and contract documents require contractor bids based on unit price. Accordingly, the bid of Dave Schmitt Construction Co was corrected to be \$3,249,706.95, based on the unit prices submitted and the correct bid quantity totals, and

WHEREAS, general ledger coding for this public improvement shall be as follows: \$3,108,134.70; \$2,505,636.20 301-301000-7970-3012092, \$249,355 306-306000-306274, \$320,082 625-625000-6250051-6252014059, \$33,061.50 301-301000-301186-3012092

NOW THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA as follows:

1. The recitals contained hereinabove are found to be true and correct.
2. The previous delegation to the City Engineer, or his designee, to receive, open, and publicly announce the bids, and report the results thereof to the City Council at its next meeting is hereby ratified and approved;
3. Rathje Construction Company is the lowest responsive, responsible bidder on said work and the City Engineer, or his designee, has recommended that the City accept its bid and award the contract to it;
4. Subject to registration with the Department of Labor, the Bid of Rathje Construction Company is hereby accepted, with the inclusion of the incentive clause, and the contract for this public improvement is hereby awarded to Rathje Construction Company.
5. The City Manager and City Clerk are hereby directed to sign and execute a contract with said contractor for the construction of the above-described public improvements;

BE IT FURTHER RESOLVED that the bid securities of the unsuccessful bidders be returned to them by the City Clerk, and

BE IT FURTHER RESOLVED that upon execution by the City Manager and City Clerk, said contract is approved, subject to approval of the bond and insurance by the City of Cedar Rapids Risk Manager and filing of the same with the City of Cedar Rapids Finance Director.

PASSED_DAY_TAG

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MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG

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**42ND STREET NE FROM INTERSTATE 380 TO WENIG ROAD
IMPROVEMENTS PROJECT**





Council Agenda Item Cover Sheet

Submitting Department: Public Works

Presenter at meeting: Doug Wilson, PE

Phone Number/Extension: 5141

E-mail Address: d.wilson@cedar-rapids.org

Alternate Contact Person: Gary Petersen, PE

Phone Number/Extension: 5153

E-mail Address: g.petersen@cedar-rapids.org

Description of Agenda Item: REGULAR AGENDA

Report on bids and resolution awarding and approving contract in the amount of \$919,883.70 plus incentive up to \$42,000, bond and insurance of Rathje Construction Company for the West Post Road NW from Plainview Drive NW to E Avenue NW Roadway Reconstruction project (estimated cost is \$1,388,000). (Doug Wilson) **(Paving for Progress)**
CIP/DID #3012120-04

EnvisionCR Element/Goal: ProtectCR Goal 3: Maintain and provide quality services to the community.

Background:

Rathje Construction Company, Marion, IA	\$919,883.70
Incentive up to	\$ 42,000.00
Total	\$961,883.70
Eastern Iowa Excavating & Concrete, LLC, Anamosa, IA	*\$ 935,646.70
Ricklefs Excavating, Ltd., Anamosa, IA	\$ 961,635.20
Pirc-Tobin Construction, Inc., Alburnett, IA	\$1,041,824.75

*multiplication/addition error found in bid

Rathje Construction Company submitted the lowest of the bids received on February 3, 2016 for the West Post Road NW from Plainview Drive NW to E Avenue NW Roadway Reconstruction project. The bid is within the approved budget. Construction work is expected to begin this spring and anticipated to be completed within 181 calendar days.

The Instructions to Bidders (Section 200 14.01) and contract documents require contractor bids based on unit price. Accordingly, the bid of Eastern Iowa Excavating & Concrete, LLC was corrected to be \$935,646.70, based on the unit prices submitted and the correct bid quantity totals.

Action/Recommendation: The Public Works Department recommends approval of the Resolution to award and approve contract in the amount of \$919,883.70 plus incentive up to \$42,000, bond and insurance of Rathje Construction Company for the West Post Road NW from Plainview Drive NW to E Avenue NW Roadway Reconstruction project.

Alternative Recommendation: If Council chooses not to award the contract for said project, the project could not go forward as proposed unless the bidding process is repeated.

Time Sensitivity: Normal. Chapter 26.10 of the Code of Iowa requires the Bid security to be returned within 30 days after the bid opening. Deferral of the contract award after February 9, 2016 may require re-bidding and affect the construction schedule for the improvements.

Resolution Date: February 9, 2016

Budget Information: 301/301000/3012120 SLOST

Local Preference Policy: NA

Explanation: NA

Recommended by Council Committee: NA

Explanation: NA



February 3, 2016

City Council
City of Cedar Rapids

RE: Report on bids as read for the West Post Road NW from Plainview Drive NW to E Avenue NW Roadway Reconstruction, Contract Number 3012120-04

Dear City Council:

Bids were received on February 3, 2016 for the West Post Road NW from Plainview Drive NW to E Avenue NW Roadway Reconstruction project as follows:

Rathje Construction Company, Marion, IA	\$ 919,883.70
Eastern Iowa Excavating & Concrete, LLC, Anamosa, IA	\$ 935,662.45
Ricklefs Excavating, Ltd., Anamosa, IA	\$ 961,635.20
Pirc-Tobin Construction, Inc., Alburnett, IA	\$1,041,824.75

The engineers cost opinion for this work is \$1,388,000. It is recommended the bids be reviewed by City staff and an action to award or not be presented separately for Council consideration.

Sincerely,

THE CITY OF CEDAR RAPIDS PUBLIC WORKS DEPARTMENT

A handwritten signature in blue ink, appearing to read "Garrett Prestegard".

Garrett Prestegard, P.E.
Project Engineer I

GP/cap

cc: Jennifer L. Winter, P.E. Public Works Director
Nathan Kampman, P.E., City Engineer

RESOLUTION NO. LEG_NUM_TAG

ACCEPTING PROPOSAL, AWARDING CONTRACT, APPROVING CONTRACT

WHEREAS, on January 12, 2016 the City Council adopted a motion that directed the City Clerk to publish notice to bidders and publish notice of a public hearing on the plans, specifications, form of contract and cost estimate for the West Post Road NW from Plainview Drive NW to E Avenue NW Roadway Reconstruction (Contract No. 3012120-04) public improvement project for the City of Cedar Rapids, Iowa, and

WHEREAS, said notice was published in the Cedar Rapids Gazette on January 16, 2016 pursuant to which a public hearing was held on January 26, 2016, and

WHEREAS, the following bids were received, opened and announced on February 3, 2016 by the City Engineer, or designee, and said officer has reported the results of the bidding and made recommendations thereon to the City Council at its next meeting on February 9, 2016:

Rathje Construction Company, Marion, IA	\$919,883.70
Incentive up to	<u>\$ 42,000.00</u>
Total	\$961,883.70
Eastern Iowa Excavating & Concrete, LLC, Anamosa, IA	b\$ 935,646.70
Ricklefs Excavating, Ltd., Anamosa, IA	\$ 961,635.20
Pirc-Tobin Construction, Inc., Alburnett, IA	\$1,041,824.75

AND WHEREAS, the Instructions to Bidders (Section 200 14.01) and contract documents require contractor bids based on unit price. Accordingly, the bid of Eastern Iowa Excavating & Concrete, LLC was corrected to be \$935,646.70, based on the unit prices submitted and the correct bid quantity totals, and

WHEREAS, general ledger coding for this public improvement shall be as follows: \$961,883.70 301-301000-7970-3012120;

NOW THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA as follows:

1. The recitals contained hereinabove are found to be true and correct.
2. The previous delegation to the City Engineer, or his designee, to receive, open, and publicly announce the bids, and report the results thereof to the City Council at its next meeting is hereby ratified and approved;
3. Rathje Construction Company is the lowest responsive, responsible bidder on said work and the City Engineer, or his designee, has recommended that the City accept its bid and award the contract to it;
4. Subject to registration with the Department of Labor, the Bid of Rathje Construction Company is hereby accepted, with the inclusion of the incentive clause, and the contract for this public improvement is hereby awarded to Rathje Construction Company.
5. The City Manager and City Clerk are hereby directed to sign and execute a contract with said contractor for the construction of the above-described public improvements;

BE IT FURTHER RESOLVED that the bid securities of the unsuccessful bidders be returned to them by the City Clerk, and

BE IT FURTHER RESOLVED that upon execution by the City Manager and City Clerk, said contract is approved, subject to approval of the bond and insurance by the City of Cedar Rapids Risk Manager and filing of the same with the City of Cedar Rapids Finance Director.

PASSED_DAY_TAG

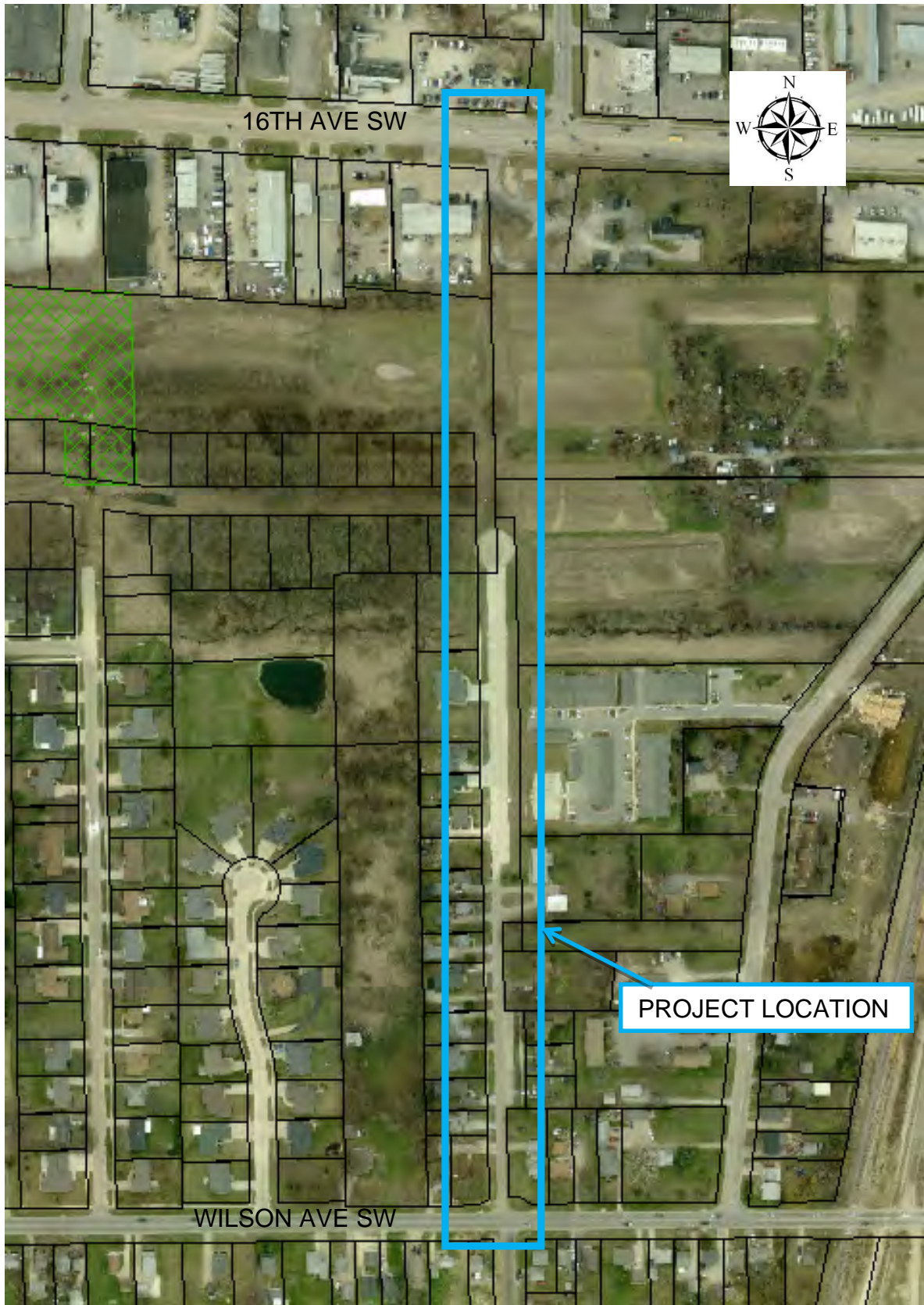
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MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG





Council Agenda Item Cover Sheet

Submitting Department: Police

Presenter at Meeting: Amanda Grieder
E-mail Address: a.grieder@cedar-rapids.org

Phone Number/Ext.: 319-286-5714

Alternate Contact Person: Annette Lorenz
E-mail Address: a.lorenz@cedar-rapids.org

Phone Number/Ext.: 319-286-5720

Description of Agenda Item: CONSENT AGENDA

Third reading of Ordinance to consider amending Chapter 22A of the Municipal code, Nuisance Property, by deleting Chapter 22A and enacting new 22A in its place, establishing regulations relating to statement of public policy, nuisance activity, service of notice, prohibitions, and administrative appeals.

EnvisionCR Element/Goal: StrengthenCR Goal 2: Improve the quality and identity of neighborhoods and key corridors.

Background: The City of Cedar Rapids has an interest in ensuring properties within the City limits are free of nuisance activity. The SAFE-CR Program strives to protect the quiet enjoyment of neighborhoods, provide efficient use of taxpayer funded services to citizens, and ensure properties are well maintained through enforcement of Chapter 22A. The City recognizes that nuisances detract from the enjoyment and livability of a neighborhood, infringe on individual property rights, and drive up the costs incurred by the City.

In June 2015, SAFE-CR implemented a new Focus Group to further address questions and concerns in regard to the Chapter 22A Ordinance. By requesting feedback, answering questions, and discussing various concerns, the focus group has identified ways to improve upon a program each member is very passionate about. The goal of the Focus Group has not been to change the intent of the ordinance, but rather improve upon it by creating suggested changes in specific ordinance language that the group can agree upon. In addition, we have strengthened relationships between our participating entities and the individuals they serve.

Some of the entities involved in this Focus Group are:

- Iowa Legal Aid
- Landlords of Linn County
- Waypoint Services
- Willis Dady Shelter
- Affordable Housing Network
- Linn County Community Services
- Four Oaks
- TotalChild
- Foundation 2

All proposed amendments compiled by staff were submitted by Focus Group Members. On November 18, 2015 City staff held a SAFE-CR Open House where all members of the public could review the proposed amendments and submit questions or comments.

Action/Recommendation: The Police Department recommends the City Council conduct a third reading of the Ordinance on February 9, 2016.

Alternative Recommendation: Ordinance will not be enacted without the third reading.

Time Sensitivity: Adoption in a timely manner is necessary to ensure effectiveness of Chapter 22A, Nuisance Properties.

Resolution Date: NA

Budget Information: NA

Local Preference Policy: (Click here to select)

Explanation: NA

Recommended by Council Committee: (Click here to select)

Explanation: NA

ORDINANCE NO. LEG_NUM_TAG

CHAPTER 22A - NUISANCE PROPERTIES

ORDINANCE AMENDING CHAPTER 22A OF THE MUNICIPAL CODE, NUISANCE PROPERTY, BY DELETING CHAPTER 22A AND ENACTING NEW CHAPTER 22A IN ITS PLACE, ESTABLISHING REGULATIONS RELATING TO STATEMENT OF PUBLIC POLICY, NUISANCE ACTIVITY, SERVICE OF NOTICE, PROHIBITIONS, AND ADMINISTRATIVE APPEALS

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, that the Cedar Rapids Municipal Code is amended as follows:

Section 1. Chapter 22A of the Cedar Rapids Municipal Code is hereby deleted and a new Chapter 22A is enacted in lieu thereof as follows:

“22A.01 - STATEMENT OF PUBLIC POLICY.

The City of Cedar Rapids has an interest in ensuring a higher quality of life for its citizens, preserving property values and controlling the costs of taxpayer funded services such as police, fire and property code enforcement. In furtherance of that interest, the City seeks to ensure that properties within the City limits are well maintained and are not resorted to for purposes of unlawful conduct or conduct which disturbs the peaceable use of surrounding properties. Accordingly, it is the policy of the City that properties which are shown to be Nuisance Properties as defined by this Chapter shall be subject to the abatement process and charges set forth herein.

The City also has an interest in encouraging individuals to contact police and fire for emergency assistance. Accordingly, it is the policy of the City that the provisions of this Chapter shall not apply to a call made for Emergency Assistance as defined by this Chapter.

Further, the City acknowledges that conduct within the scope of this Chapter may arise out of a mental health condition and that, accordingly, any documented mental health condition of which City Officials are made aware may be taken into account when applying the terms of this Chapter.

22A.02 - DEFINITIONS.

As used in this Chapter, the following terms shall have the following meanings:

- a. "Abate" means to prevent and/or eliminate.
- b. "City Manager" means that person employed by the City as its City Manager or designee of that person.
- c. "Call for Service" means any occasion on which one or more members of any City Department go to a Property for purposes of investigating suspected Nuisance Activity. A Call for Service is not Founded unless it meets the definition herein of "Founded Call for Service."

- d. "Corrective Action" means any action taken with respect to a Nuisance Property for the purpose of Abating Nuisance Activity.
- e. "Emergency Assistance" means immediate intervention by first responders in order to prevent or stop further damage to person or property.
- f. "Founded Call for Service" means any occasion on which a Call for Service results in a finding of probable cause to believe Nuisance Activity occurred on or within one thousand feet of the Property to which the Call for Service was made. A Founded Call for Service shall not be applied if an Interested Party is the party who reported the criminal activity that resulted in the Call for Service to the City.
- g. "Health, Environmental or Solid Waste violation" means a violation of Chapter 21, Chapter 24, Chapter 25, or Chapter 29 of the Cedar Rapids Municipal Code.
- h. "Interested Party" means a Property Owner, resident, tenant, occupant or person in possession or control of a property.
- i. "Nuisance Activity" means conduct giving rise to the conditions, events, and/or situations described in Section 22A.03.
- j. "Nuisance Property" means a Property which meets the criteria set forth in Section 22A.03.
- k. "Nuisance Property Abatement Plan" means that written plan which is developed by a Property Owner, whether or not it is developed in consultation with the Nuisance Property Abatement Coordinator, pursuant to which the Property Owner undertakes Corrective Action at a Nuisance Property.
- l. "Nuisance Property Abatement Coordinator ("NPAC") " is the City official charged with the administration and enforcement of this Chapter, or any duly authorized representative thereof.
- m. "Permittee" means a person present on a particular property where an Interested Party has allowed, consented to, or otherwise acquiesced in that person's presence, and shall include a person whose presence the Interested Party has failed to prevent or remove.
- n. "Property" means any real estate, including land, and that which is affixed, incidental, or appurtenant to the real estate. For Property consisting of more than one unit, the term Property may refer to a particular unit or to the portion of the Property on which Nuisance Activity has occurred or is occurring. Property may also include areas used in common by all units of the Property, including without limitation, other structures erected on the Property and areas used for parking, loading, and landscaping.
- o. "Property Owner" means the owner of record of the Property in question as shown on the City of Cedar Rapids Assessors website.
- p. The phrase "within one thousand feet of the Property" means the distance measured from the central point of any Nuisance Activity to the nearest point along the parcel line for the Property with which the Interested Party or Permittee is associated. For purposes of this Chapter, the Property of an Interested Party or Permittee who is not responsible for the Founded Nuisance Activity shall not be subject to Section 22A.03.

22A.03 – NUISANCE PROPERTY

Property shall be deemed Nuisance Property upon a determination by the NPAC that any one or more of the following subsections is true with respect to the Property:

- a. One or more Founded Calls for Service have been made concerning the following Nuisance Activities at or within one thousand feet of the Property within a period of twelve consecutive months, whether committed by an Interested Party or Permittee(s) of an Interested Party:
 1. Manufacture or delivery of a controlled substance in violation of Iowa Code Chapter 124;
 2. Kidnapping as defined in Iowa Code Chapter 710;
 3. Arson as defined in Iowa Code Chapter 712;
 4. Burglary as defined in Iowa Code Chapter 713;
 5. Robbery as defined in Iowa Code Chapter 711;
 6. Sex abuse as defined in Iowa Code Chapter 709;
 7. Intimidation with a Dangerous Weapon as defined in Iowa Code Section 708.6;
 8. Willful injury as defined in Iowa Code Section 708.4;
 9. Sexual exploitation of a minor in violation of Iowa Code Section 728.12;
 10. Felony gambling in violation of Iowa Code Chapter 725.7;
 11. Felony criminal mischief as defined in Iowa Code Chapter 716;
 12. Animal contests in violation of Iowa Code Chapter 717D;
 13. Possessing or carrying a dangerous weapon as defined in Iowa Code Section 724;
 14. Riot as defined in Iowa Code Section 723.1;
 15. Failure to abate Odors or Offensive Annoyances as defined in Cedar Rapids Municipal Code Section 22.01(a)(2) and prohibited by Section 22.05 thereof;
 16. Owning, keeping or harboring a Dangerous Animal as defined in Cedar Rapids Municipal Code Section 23.01 and prohibited by Section 23.21 thereof;
 17. Prostitution as defined in Iowa Code Chapter 725.
- b. Two or more Founded Calls for Service have been made concerning the following Nuisance Activities at or within one thousand feet of the Property within a period of twelve consecutive months, whether committed by an Interested Party or Permittee(s) of an Interested Party:
 1. Possession of a controlled substance in violation of Iowa Code Chapter 124;
 2. Serious or aggravated misdemeanor criminal mischief as defined in Iowa Code Chapter 716;
 3. Serious or aggravated misdemeanor assault as defined in Iowa Code Chapter 708;
 4. Serious or aggravated misdemeanor theft as defined in Iowa Code Chapter 714;

5. Misdemeanor gambling as defined in Iowa Code Chapter 725;
 6. False imprisonment as defined in Iowa Code Section 710.7;
 7. Failing to secure or keep secure a structure in accordance with Chapter 29 of the Cedar Rapids Municipal Code and this code;
 8. An unpermitted or illegal use under Chapter 32 of the Cedar Rapids Municipal Code;
 9. Unlawful discharge of any device in violation of Section 63.10A (c) of the Cedar Rapids Municipal Code;
 10. Engaging in conduct prohibited by Section 62.33 of the Cedar Rapids Municipal Code concerning Disorderly Houses and Wrongful Drinking Establishments;
 11. Failure to disperse from an unlawful assembly as defined in Iowa Code Section 723.3;
 12. Serious or aggravated misdemeanor gambling as defined by Iowa Code Chapter 725.
- c. Three or more Founded Calls for Service have been made concerning the following Nuisance Activities at or within one thousand feet of the Property within a period of twelve consecutive months, whether committed by an Interested Party or Permittee(s) of an Interested Party:
1. A Health, Environmental, or Solid Waste violation as defined herein;
 2. Unlawful assembly in violation of Iowa Code Section 723.2;
 3. Defacing City Property and Graffiti as prohibited by Section 64.01, and/or Section 64.14, and/or Chapter 29 of the Cedar Rapids Municipal Code;
 4. Simple misdemeanor assault in violation of Iowa Code Chapter 708;
 5. Owning, keeping, harboring or knowingly permitting an animal to create such noise as to constitute a violation of Section 23.06 of the Cedar Rapids Municipal Code;
 6. Disturbing the peace in violation of Cedar Rapids Municipal Code 62.01;
 7. Consumption or intoxication in public places in violation of Iowa Code Section 123.46;
 8. Disorderly conduct in violation of Iowa Code Section 723.4;
 9. Persons under legal age in violation of Iowa Code Section 123.47;
 10. Making, continuing or causing the making or continuance of a Noise Disturbance as limited by Municipal Code Section 56.02;
- d. When any of the following occur upon the Property or within one thousand feet of the Property within a period of twelve consecutive months, except as otherwise specified, whether caused by an Interested Party or Permittee(s) of an Interested Party:
1. The property is placarded pursuant to Chapter 29 Housing Code of the Cedar Rapids Municipal Code, except when such placard is due solely to utility discontinuance for nonpayment of utility bill(s) by a tenant. When a property has

been declared a Nuisance Property based on this paragraph, any call for service to that Nuisance Property which is deemed founded for Prohibited Occupancy, as defined in Municipal Code Chapter 29 and the International Property Maintenance Code, shall be deemed a Founded Call for Service, and all costs associated with the call shall be charged to the Property Owner pursuant to Section 22A.08.

2. A second "no show" trip charge has been imposed in accordance with Chapter 29 Housing Code of the Cedar Rapids Municipal Code;
3. The City mows the property two or more times in a calendar year for an owner in violation of Chapter 21 and/or Chapter 29 of the Cedar Rapids Municipal Code;
4. The City removes snow from the sidewalk two or more times in a six month period for an owner in violation of Chapter 9 of the Cedar Rapids Municipal Code;
5. The City removes junk, debris, and/or solid waste from the property two or more times in a twelve month period for an owner in violation of Chapter 22 and/or Chapter 29 of the Cedar Rapids Municipal Code;
6. A violation of Chapter 29 of the Cedar Rapids Municipal Code(s) is prosecuted in Court and the Court rules in favor of the City;
7. A violation of Cedar Rapids Municipal Code Chapter 22 is prosecuted in Court and the Court rules in favor of the City.

Notwithstanding the foregoing, Chapter 22A shall not apply to Calls for Service made by or on behalf of an individual in need of Emergency Assistance, provided the caller(s) has (have) a good faith belief in the need for Emergency Assistance and provided, further, such Emergency Assistance is in fact necessary to prevent or stop further damage to person or property.

Except where otherwise specified, the references in this Section 22A.03 to provisions of the Iowa Code or the Cedar Rapids Municipal Code shall not be construed to mean that prosecution of the specific charge is required to proceed under this Chapter, nor shall it be construed to mean the Nuisance Activity must be proven beyond a reasonable doubt. Rather, in determining whether a Property is a Nuisance Property, the Nuisance Property Abatement Coordinator shall apply the criteria of this section using a preponderance of evidence as the standard of proof. Any determination pursuant to this section shall be subject to administrative appeal and/or Court review as set forth in this Chapter.

22.04 – PROHIBITIONS.

The following are hereby prohibited by this Chapter:

- a. The creation or maintenance of or the failure to Abate a Nuisance Property.
- b. Interference, delay or hindrance of enforcement of this Chapter except to pursue appeal and/or review of administrative actions by the City Manager or NPAC.
- c. The termination of a lease agreement with a tenant or other retaliation against a

tenant because that tenant notified or otherwise complained to law enforcement or other city officials that Nuisance Activity was occurring at the Property.

- d. The termination of a lease agreement with a tenant or other retaliation against a tenant because the tenant called for Emergency Assistance for themselves or on behalf of a person in need of Emergency Assistance.

22A.05 – INSPECTION OF PREMISES.

The City Manager is authorized to enter and remain upon private property to the extent reasonably necessary for the purpose of locating, identifying, investigating and documenting any Nuisance Activity as defined by this Chapter and, further, for the purpose of administering this Chapter, subject in any event to the limitations on that authority under other applicable law.

22A.06 – FINDING OF VIOLATION; NUISANCE PROPERTY ABATEMENT PLAN.

- a. Upon a threshold determination by the NPAC that a Property meets the criteria of Section 22A.03 herein, the City shall cause a Notice of Violation to be served upon the Property Owner in the manner provided by this Chapter. A courtesy copy of the Notice of Violation shall also be sent by regular mail to the occupant(s) of the Property in question at the address of the Property in question.
- b. Upon the issuance of a Notice of Violation, the Property Owner may submit a Nuisance Property Abatement Plan specifying the Corrective Action the Property Owner will take, including dates by which each Corrective Action shall be completed.
- c. The NPAC shall meet with any Property Owner who has submitted a Nuisance Property Abatement Plan to review the facts of the case and Corrective Action contemplated by the Plan.
- d. The submission of a Nuisance Property Abatement Plan may be the basis for the NPAC, pursuant to Section 22A.07, to postpone by 15 days the imposition of charges otherwise due under Section 22A.08.

22A.07 - NOTICE OF VIOLATION; CONTENTS.

The Notice of Violation required by this Chapter shall contain:

- a. The location of the Nuisance Property in question;
- b. A description of what constitutes the violation of this Chapter;
- c. A statement that within 15 days following service of the Notice of Violation, the Property Owner shall be charged for future Founded Calls for Service to the Nuisance Property; provided, however, that if the Property Owner submits a Nuisance Property Abatement Plan, then the NPAC may postpone by 15 days the date that Founded Calls for Service will be billed to the Property Owner.
- d. A statement that pursuant to Section 22A.11 of this Chapter, an aggrieved party may

seek administrative appeal of the NPAC's determinations that the Property is a Nuisance Property and the Notice of Violation and/or Court review as authorized by Iowa law.

22A.08 – FOUNDED CALLS FOR SERVICE CHARGED TO NUISANCE PROPERTY.

With respect to a Property for which a Notice of Violation has been duly served, the NPAC shall cause to be charged to the Property Owner all costs associated with Founded Calls for Service to the Property, beginning on the date specified in the Notice of Violation and continuing thereafter until the expiration of one year from the date on the Notice of Violation. This provision shall not be construed so as to preclude an additional determination under Section 22A.03 that the Property is a Nuisance Property due to additional Nuisance Activity. In the event of such an additional finding under Section 22A.03, the twelve month period shall run from date of the most recent Notice of Violation.

Notwithstanding the foregoing, the charges otherwise due under this section may be postponed by the NPAC in accordance with 22A.06(d) and 22A.07(c).

22A.09 – EMERGENCY ABATEMENT.

If it is determined by the City Manager that an emergency exists by reason of the continuing presence or repeated occurrence of Nuisance Activity, the City may perform any action required under this Chapter to the extent reasonably necessary to Abate the Nuisance Activity constituting the emergency. This provision shall not be construed so as to impose any duty upon the City to take such action. Emergency action pursuant to this section may be taken without prior notice or hearing. Notice of emergency action shall be provided to the Property Owner, along with an opportunity for hearing as provided in this Chapter. Subject to the provisions of this Chapter concerning Appeals of Administrative Actions or Decisions, if the amount shown by the statement has not been paid by the person within thirty days, it shall then be collected with, and in the same manner, as special taxes.

22A.10 - CORRECTIVE ACTION BY THE CITY; COLLECTION OF COSTS.

- a. If a Property Owner who has been served with a Notice of Violation fails or refuses to prevent the recurrence of Nuisance Activity, and the City is capable of correcting or eliminating the Nuisance Activity, the City may take such lawful steps as are necessary and proper to Abate the Nuisance Activity upon 30 days' notice to the Property Owner. This provision shall not be construed so as to impose any duty upon the City to take such corrective action. In so doing, the City shall keep an accurate account of the costs incurred in correcting or eliminating the Nuisance Activity. The NPAC shall keep an itemized account of such costs. The salvage value, if any, of any item or items collected in connection with such action by the City shall be retained by the City and shall be applied as an offset against costs. In the event the salvage proceeds exceed the costs, any such excess shall be paid promptly to the Property Owner.
- b. In the event action is taken pursuant to this section, the NPAC shall mail to the Property

Owner an itemized statement of the expenses incurred, minus any salvage value, to the Property Owner demanding payment of the expense. Subject to the provisions of this Chapter concerning Appeals of Administrative Actions or Decisions, if the amount shown by the statement has not been paid by the person within thirty days, it shall then be collected with, and in the same manner, as special taxes.

22A.11 – APPEALS OF ADMINISTRATIVE DECISIONS OR ACTIONS.

- a. Any person aggrieved by a decision or act of the City Manager or NPAC shall have the opportunity for hearing before a duly appointed hearing officer. Any aggrieved party may submit a request for a hearing which shall be in writing delivered to the NPAC. If said request is received within the time stated in the notice of the action or decision in question, the hearing shall be held pursuant to this section; any request for hearing received thereafter shall not entitle the requesting party to a hearing.
- b. Upon receipt of a timely request for hearing, the NPAC shall set a hearing to be held within 30 days from said receipt and, further, shall give at least 10 days' Notice to the requesting party of the time, date and location of said hearing. The hearing may be reset by agreement of the requesting party, the City and the hearing officer, as confirmed in writing, but in no event shall the hearing be held any later than 60 days after the date of the action or decision being appealed.
- c. At the time of hearing, the requesting party and NPAC shall be afforded the opportunity to present evidence and arguments. The formal rules of evidence and procedure shall not apply. Legal counsel shall not be required but shall be permitted.
- d. Within thirty days after the conclusion of an administrative hearing held pursuant to this section, the hearing officer shall make the following written findings which shall be based on a preponderance of the evidence as the standard of proof, and the City shall serve Notice thereof upon the appealing party:
 - i. Whether the determination under 22A.03 was correct; and
 - ii. Whether the action taken upon that determination was in accordance with all applicable law.
- e. Any decision rendered by a hearing officer pursuant to this section shall be subject to further review by a Court in accordance with Iowa law.
- f. Where a person aggrieved by an action taken pursuant to this Chapter has made a request for an administrative hearing pursuant to this section or has sought further review by a Court as provided by Iowa law, any charges for calls for service and any other administrative fees imposed pursuant to this Chapter shall be recorded, but the due date therefor and collection thereof shall be suspended pending the final outcome of any administrative hearing and/or Court review.

22A.12 - ALTERNATIVE MEANS OF ENFORCEMENT.

Without negating, restricting or otherwise limiting any conditions or sanctions imposed pursuant to this Chapter, this Chapter may also be enforced by any lawful means including but not limited to the following:

- a. Prosecution as a simple misdemeanor in accordance with Chapter 1 of the Cedar Rapids Municipal Code and Chapter 364 of the Iowa Code.
- b. The filing of a Municipal Infraction in accordance with Chapter 1 of the Cedar Rapids Municipal Code and Chapter 364 of the Iowa Code.

22A.13 – SERVICE OF NOTICE.

Except where expressly provided otherwise, notices required under this Chapter shall be served by one or more of the following methods:

- 1) Mailing by both regular mail and certified mail, as defined in Iowa Code Section 618.15 (2015), to the last known address of the Property Owner;
- 2) Hand delivery to the Property Owner;
- 3) Personal service on the Property Owner pursuant to Iowa Rule of Civil Procedure 1.305; or
- 4) Any other method of providing notice which results in the notice actually being received by the Property Owner.

Notice served by mail under this section is deemed completed ten business days after the notice is deposited in the mail and postmarked for delivery, whether or not the recipient signs a receipt for the notice.”

Section 2. Separability of Provisions. It is the intention of the Council that each section, paragraph, sentence, clause, and provision of the Ordinance is separable, and, if any provision is held unconstitutional or invalid for any reason, such decision shall not affect the remainder of this Ordinance nor any part thereof other than that affected by such decision.

Section 3. All ordinances or parts of ordinances in conflict with any provision of this Ordinance are hereby repealed.

Section 4. The changes as provided in this Ordinance shall be made a part of the replacement pages of the Municipal Code, City of Cedar Rapids, Iowa, and made a part of said Code as provided by law.

Section 5. This Ordinance shall be in full force and effect from and after its passage and publication as provided by law.

Introduced this 12th day of January, 2016.

PASSED_DAY_TAG

LEG_PASSED_FAILED_TAG

MayorSignature

Attest:
ClerkSignature

LEG_TABLED_TAG



Council Agenda Item Cover Sheet

Submitting Department: Development Services

Presenter at Meeting: Johnny Alcivar
E-mail Address: j.alcivar@cedar-rapids.org

Phone Number/Ext.: 319 286-5132

Alternate Contact Person: Joe Mailander
E-mail Address: j.mailander@cedar-rapids.org

Phone Number/Ext.: 319 286-5822

Description of Agenda Item: ORDINANCES – Second and possible Third Readings
 Ordinance granting a change of zone for property at 4600 20th Avenue SW from C-3, Regional Commercial Zone District, to I-1, Light Industrial Zone District as requested by Midwest 3PL and Rick Stickle.
 CIP/DID # RZNE-022431-2015

<p>EnvisionCR Element/Goal: GrowCR Goal 1: Encourage mixed-use and infill development.</p>

Background: The request for a Rezoning with a Preliminary Site Development Plan was reviewed by the City Planning Commission on January 7, 2016 and a portion of the minutes is attached.

This is a request to rezone 5.94 acres from the C-3 Zone District to the I-1 Zone District to allow for an expansion of the existing warehouse on the adjacent western property. The property is currently zoned C-3 and has not been previously developed. The property is identified as "Urban High-Intensity" on the City's Future Land Use Map in EnvisionCR, the City's Comprehensive Plan.

Application Process/Next Steps:

Actions	Comments
City staff review	<ul style="list-style-type: none"> City staff reviewed the application and recommends approval of the rezoning request.
City Planning Commission review	<ul style="list-style-type: none"> The City Planning Commission reviewed the application on January 7, 2016 with approval by a vote of 9 to 0. A portion of the minutes will be included prior to the City Council public hearing. There were no objectors.
City Council consideration	<ul style="list-style-type: none"> A Public Hearing to allow for public input and the First Reading of the Ordinance were held on January 26, 2016. There were no objectors. Two additional readings of the Ordinance by City Council are required by State law before approval of the rezoning is final.

Action/Recommendation: City staff recommends approval of the Second and possible Third Reading.

Alternative Recommendation: City Council may table and request further information.

Time Sensitivity: NA

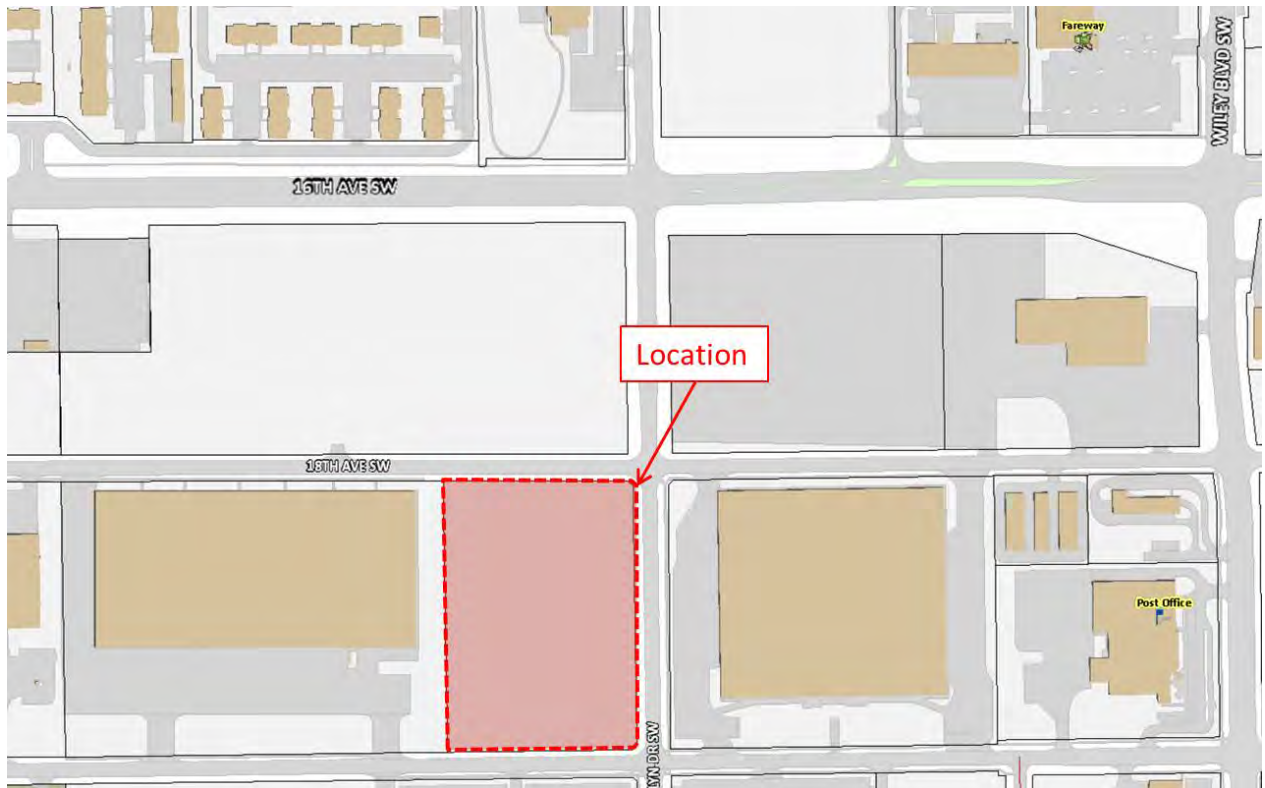
Resolution Date: NA

Budget Information: NA

Local Preference Policy: NA

Recommended by Council Committee: NA

Location Map





City Planning Commission
City of Cedar Rapids
101 First Street SE
Cedar Rapids, IA 52401
Telephone: (319) 286-5041

**MINUTES OF
CITY PLANNING COMMISSION MEETING,
Thursday, January 7, 2016 @ 3:00 p.m.
Cedar Rapids City Hall Council Chambers, 101 First Street SE**

Members Present: Jim Halverson, Chair
Richard Pankey, Vice Chair
Carletta Knox-Seymour (Arrived at 3:05pm)
Virginia Wilts
Samantha Dahlby
Kim King
Dominique Blank
Bill Hunse
Anthony Brown

DSD Staff: Joe Mailander, Manager
Vern Zakostelecky, Zoning Administrator
Johnny Alcivar, Development Services Specialist

CD Staff: Seth Gunnerson, Planner
Adam Lindenlaub, Planner
Bill Micheel, Assistant Director
Betty Sheets, Administrative Assistant

City Council Liaison: Justin Shields

Call Meeting to Order

The meeting was called to order at 3:00 p.m.

Opening statements were presented stating the protocol of the meeting and the purpose of the City Planning Commission.

Roll Call

Roll call was answered with nine (9) Commissioners present.

A. Approval of the Minutes

Commissioner Halverson called for any additions or corrections to the minutes. Commissioner Halverson stated with no additions or corrections, the December 3, 2015 Minutes stand approved.

B. Adoption of the Agenda

Commissioner Halverson called for any additions or corrections to the agenda. Commissioner Halverson stated with no additions or corrections, the agenda stands approved.

C. Action Items

1. Case Name: 4600 20th Avenue SW (Rezoning)

Consideration of a change of zone from C-3, Regional Commercial Zone District to I-1, Light Industrial Zone District as requested by Midwest 3PL (Applicant/Titleholder)

Case No. RZNE-022431-2015; Case Manager: Johnny Alcivar

Mr. Alcivar stated this is a request to rezone 5.94 acres of vacant land currently zoned C-3, Regional Commercial Zone District, to the I-1, Light Industrial Zone District. The request is to allow for the expansion of an existing warehouse on the adjoining property west of the site. Mr. Alcivar presented a Location Map, General Information, Zoning, Revised Site Plan, Street View and Next Steps. Mr. Alcivar stated the rezoning would go to City Council for a public hearing on January 26th. The variance request would go to the Board of Adjustments on February 8th.

Commissioner Halverson called for questions of Mr. Alcivar. No questions were presented.

Commissioner Halverson called for a representative of the applicant.

Jacob Hahn, Anderson-Bogert Engineering, 790 11th Street, Marion, Iowa stated he did not have anything to add and that it was an expansion of the warehouse.

Commissioner Halverson called for questions of the applicant.

Commissioner Halverson asked since this is a revised site plan presented today, it appears that there is proposed extensive landscaping to screen that area long Jacolyn Drive. Mr. Hahn stated yes there will have to be special landscaping due to the fact this is a food grade warehouse.

Commissioner Halverson asked what landscaping was proposed. Mr. Hahn stated most will be evergreen and increased shrubs away from the building.

Commissioner Dahlby asked if there were changes being made to the stormwater runoff. Mr. Hahn stated the existing detention pond on site is not sized for the current site so proposing a new detention pond on the southeast corner.

Commissioner Halverson called for members of the public who wished to speak. No members of the public were present.

Commissioner Halverson called for a motion. Commissioner Knox-Seymour made a motion to approve the change of zone from C-3, Regional Commercial Zone District to I-1, Light Industrial Zone District. Commissioner Blank seconded the motion.

Commissioner Hunse asked if the walks coming out of the building would be ADA accessible. Mr. Hahn said ADA accessibility was provided.

Commissioner Halverson called for discussion on the motion. No further discussion.

Commissioner Halverson called for a vote on the motion. The motion passed unanimously with none opposed.

The meeting was adjourned at 4:23 pm

	DSD
WTR	BSD
ENG	STR
FIR	TED
CLK	PKS
	RCR
«CASE_TYPE_NUMBER»	

ORDINANCE NO. LEG_NUM_TAG

AN ORDINANCE PASSED IN ACCORDANCE WITH CHAPTER 32, AS AMENDED, OF THE MUNICIPAL CODE OF CEDAR RAPIDS, IOWA, BEING THE ZONING ORDINANCE, CHANGING THE ZONING DISTRICT AS SHOWN ON THE "DISTRICT MAP" FOR THE PROPERTY MORE PARTICULARLY DESCRIBED IN SECTION 1 OF THIS ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, as follows:

Section 1. That in accordance with Chapter 32, as amended, of the Municipal Code of Cedar Rapids, Iowa, being the Zoning Ordinance, that the property described as follows;

Lot 2, Keener Warehouse 1st Addition in the City of Cedar Rapids, Linn County, Iowa.

and located at 4600 20th Avenue SW, now zoned C-3, Regional Commercial Zone, and as shown on the "District Map," be rezoned and changed to I-1, Light Industrial Zone District, and that the property be used for such purposes as outlined in the I-1, Light Industrial Zone District, as defined in Chapter 32 of the Municipal Code of Cedar Rapids, Iowa.

Section 2. That this Ordinance and the zoning granted by the terms hereof are subject to the conditions which have been agreed to and accepted prior to the passage of this Ordinance in writing (shown by attached Acceptance) by the owners and are binding upon the owners, successors, heirs, and assigns, as follows:

1. Said lots are to be combined with adjacent property so as to constitute a single zoning lot and tax parcel.

Section 3. That this Ordinance shall be in full force and effect from and after its passage and publication as provided by law.

Introduced this 26th day of January, 2016.

PASSED_DAY_TAG

LEG_PASSED_FAILED_TAG

MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG

ACCEPTANCE OF CONDITIONS OF REZONING
ORDINANCE NO. _____

I/we hereby agree to the terms and conditions set out in the Ordinance.

Dated this 8th day of January, 2016.

RICK D. STICKLE



Signature

Rick D. Stickle

Printed name

owner

Printed title



Council Agenda Item Cover Sheet

Submitting Department: Community Development

Presenter at Meeting: Kirsty Sanchez
E-mail Address: k.sanchez@cedar-rapids.org

Phone Number/Ext.: 319 286-5428

Alternate Contact Person: Seth Gunnerson
E-mail Address: s.gunnerson@cedar-rapids.org

Phone Number/Ext.: 319 286-5129

Description of Agenda Item: ORDINANCES – First and possible Second and Third Readings Ordinance amending Chapter 32 of the Municipal Code, the Zoning Ordinance, to remove Section 32.03.010.C.6.c.i and adding Section 32.03.010.C.6.c.i Czech Bohemia Overlay District with design standards and guidelines.
 CIP/DID #OB715322

EnvisionCR Element/Goal: StrengthenCR Goal 2: Improve the quality and identity of neighborhoods and key corridors.

Background: This is the First and possible Second and Third Readings of an Ordinance to delete Section 32.03.010.C.6.c.i of the Municipal Code, Czech Bohemia Overlay District(CB-O), and enact in its place a new section 32.03.010.C.6.c.i 0 Czech Bohemia (CB-O) Overlay District (CB-O) with design standards and guidelines. The overlay district meets several goals of EnvisionCR, including improving the quality and identity of neighborhoods and key corridors by creating enhanced design guidelines and a coordinated identity to development within the district.

Staff has met multiple times with the Czech Bohemia Design Review Technical Advisory Committee (DRTAC), which is comprised of technical experts, property owners and stakeholders, to review existing Overlay District standards and make recommendations for updates to those standards. The proposed updates were presented to stakeholder groups including the Oak Hill Jackson Neighborhood Association, the Czech Village Association, and the Executive Committee for the Main Street District. In addition, staff held an open house for property owners in the district on November 4, 2015.

The proposed Czech Bohemia Overlay District standards will be similar to the MedQuarter Overlay District standards which were adopted in May 2015. Key differences between the current standards and the proposed standards include:

- More detailed design requirements.
- The addition of standards regarding site furnishings and landscaping.
- Additional design recommendations that will not be included in the ordinance language but will be part of a proposed Design Guide to give guidance to developers.

Each section of the guide contains a number of standards which all new development will be required to meet, along with recommendations on best practices. The draft recommendations cover four aspects of building and site design:

1. Building Massing, Orientation and Site Design – Requiring appropriate placement for urban infill development with an emphasis on pedestrian friendly design.
2. Building Design – Requiring high quality of design for new and renovated buildings.
3. Site Furnishings and Landscaping – Recommendations for elements that enhance site design.
4. Signage – Requirements for attractive building signage as well as permitting districtwide signage.

The proposed updates were taken to Development Committee on November 18, 2015 and to City Planning Commission on December 3, 2015.

Action/Recommendation: City staff recommends approval of the First and possible Second and Third Readings.

Alternative Recommendation: City Council may table and request additional information.

Time Sensitivity: N/A

Resolution Date: N/A

Budget Information: N/A

Local Preference Policy: NA
Explanation:

Recommended by Council Committee:

Explanation: This item was reviewed and recommended by the Development Committee on November 18, 2015.

ORDINANCE NO. LEG_NUM_TAG

ORDINANCE AMENDING CHAPTER 32 OF THE MUNICIPAL CODE, THE ZONING ORDINANCE, BY DELETING SECTION 32.03.010.C.6.C.I THEREFROM AND ENACTING IN ITS PLACE IN LIEU THEREOF A NEW SECTION 32.03.010.C.6.C.I – CZECH BOHEMIA OVERLAY DISTRICT WITH DESIGN STANDARDS AND GUIDELINES APPLICABLE TO NEW MULTI-FAMILY AND COMMERCIAL DEVELOPMENT APPLICATIONS AND BUILDING PERMITS WITHIN THE OVERLAY DISTRICT

WHEREAS, Ordinance No. 006-12, dated and approved February 14, 2012 establishes the Czech Bohemia Overlay District within the City to provide for enhanced design standards in identified districts, and

WHEREAS, the Czech Bohemia Design Review Technical Advisory Committee has worked with the City on developing a set of guidelines and recommendations for future development within the Czech Bohemia Overlay District, and

WHEREAS, the City notified all property owners within the Design Review Overlay District and held an open house to present the proposed updates on November 4, 2015, and

WHEREAS, the City Planning Commission reviewed the proposed amendment on December 3, 2015 and recommended approval;

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CEDAR RAPIDS, IOWA, as follows:

Section 1. That Chapter 32, the Zoning Ordinance, is hereby amended by deletion of the Section 32.03.010.C.6.c.i – Czech Bohemia Overlay District (CB-O) and adoption of a new Section 32.03.010.C.6.c.i – Czech Bohemia Overlay District (CB-O).

- i. Czech Bohemia Overlay District (CB-O)
The Czech Bohemia Overlay ("CB-O") District is hereby created. The Council finds that the CB-O District contains unique architecture that illustrates the history of urban development in the core of Cedar Rapids. The CB-O District contains a wide variety of architectural styles which reflect the first Czech settlements in Cedar Rapids, the Third Street commercial area, Czech Village, and the historic residential areas of the Oak Hill Jackson and the Czech Village neighborhoods. The purposes of the CB-O District are to ensure that the future development and reconstruction of commercial and multi-family buildings is compatible with the unique character of the CB-O District and to preserve its economic viability.

(A) District Boundaries

The CB-O District shall be an overlay for the entire area designated in Figure 32.03-1.

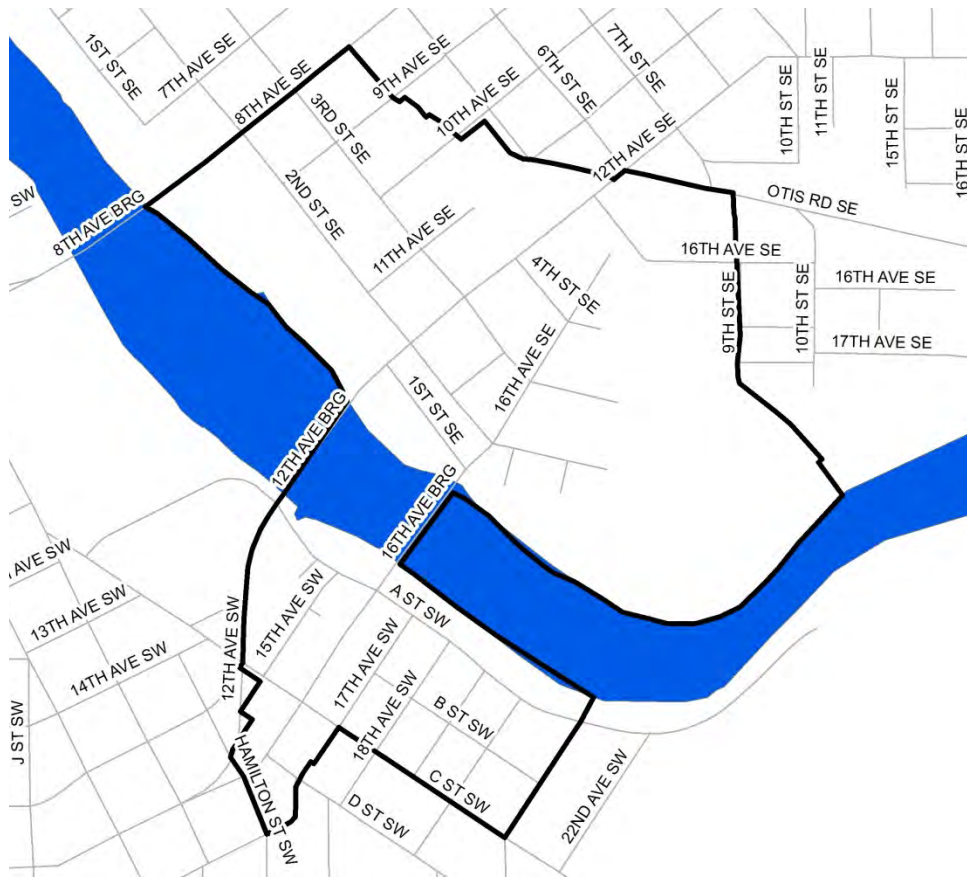


Figure 32.03-1 Czech Bohemia Overlay District

(B) CB-O District Standards and Guidelines

The CB-O Standards and Guidelines shall apply to new construction, additions to existing buildings and/or the exterior rehabilitation of buildings located within the boundaries of the CB-O District and that are submitted after February 9, 2016. The CB-O District Standards and Guidelines shall not apply to single-family and two-family dwellings.

(1) Building Massing, Orientation and Site Design

- (a)* Commercial buildings shall be constructed with a 10 foot maximum setback (including building plinths). New construction should be pedestrian friendly.
- (b)* Multi-family buildings shall be constructed with setbacks that lie within the established setback range of the district with care taken to existing buildings on the block.
- (c)* Buildings shall be placed close to streets, drives and other buildings. Pedestrians shall be able to easily travel between buildings on clearly defined pedestrian paths, not parking lot driveways.
- (d)* Service/loading areas should not be located near primary entrances to buildings.
- (e)* Building shall be oriented towards the street with a pedestrian entrance facing the street encouraged.
- (f)* Building scale and massing shall maintain a relationship with adjacent structures to create building street walls along streets, drives and sidewalks where possible. Building massing shall be consistent with the City's Comprehensive Plan, adjacent structures, and the character of the District.

- (g) Proposed facades wider than the established historic range of the block upon which the proposed development is to be located may be permitted, but design features shall be included to mimic traditional building widths of 50 feet or less. Changes in façade material, building height, window style or architectural detail are examples of techniques that may be permitted to break up a façade.
- (h) Multi-story buildings are encouraged. Single-story commercial buildings shall take adjacent building heights into consideration. These should be constructed with high ceilings or parapet walls to create a greater feeling of enclosure along the street and to compliment horizontal elements of adjacent buildings.
- (i) Buildings shall hold the corners of intersections where possible to enhance the sense of enclosure and pedestrian-orientation of the commercial area. Building heights at the corners of intersections may exceed those of the surrounding block.
- (j) The required screening of mechanical, loading, trash, and utilities shall complement materials used on the adjacent building. Brick or decorative stone in combination with decorative fencing and landscaping is preferred.
- (k) Site plans should conform to the Pedestrian Friendly Site Design standards of the Commercial and Office Building Placement Guidelines section of the ordinance.
- (l) Parking should be located behind buildings when feasible. Parking lots adjacent to sidewalks are discouraged. Additional landscaping and architectural elements shall be required for parking lots adjacent to sidewalks to help contribute to an attractive streetscape.
- (m) Where feasible, parking lots shall be linked between sites to reduce the need for district visitors to drive between adjacent stores and services. Shared parking between parcels is encouraged, and parking should be coordinated and signed appropriately to avoid user confusion

(2) Building Design

New and reconstructed elevations within the Czech Bohemia Overlay District shall comply with the requirements of this section. Provisions may be waived for existing structures if necessary to preserve the historic character of the building.

A high quality of design is expected of all new construction within the District. Criteria may vary whether an elevation is facing a street frontage, interior portions of a property, or are places close to a property line. The diagram and tables below shall be used to guide the application of Building Design requirements in the Overlay District.

(a) Description of Elevations

Table 32.03-3: Building Elevations, describes the three types of elevations; street-facing, interior, and lot-line, which comprise buildings within the district. Figure 32.03-6 shall be used as a reference in determining which standards apply to an existing or proposed building elevation. In the event where it is not clear which elevation standards apply, for example an elevation built at

an angle facing both a street and interior side, the more stringent standards shall apply.

TABLE 32.03-3: Building Elevations		
Diagram Reference	Location	Description
A	Street elevation	Elevations along street frontages
B	Interior elevation	Elevations interior to the parcel which are visible from the street
C	Lot line elevation	Elevations without a public entrance which are located within 7' of a rear or side yard parcel boundary which may be obscured by future construction.

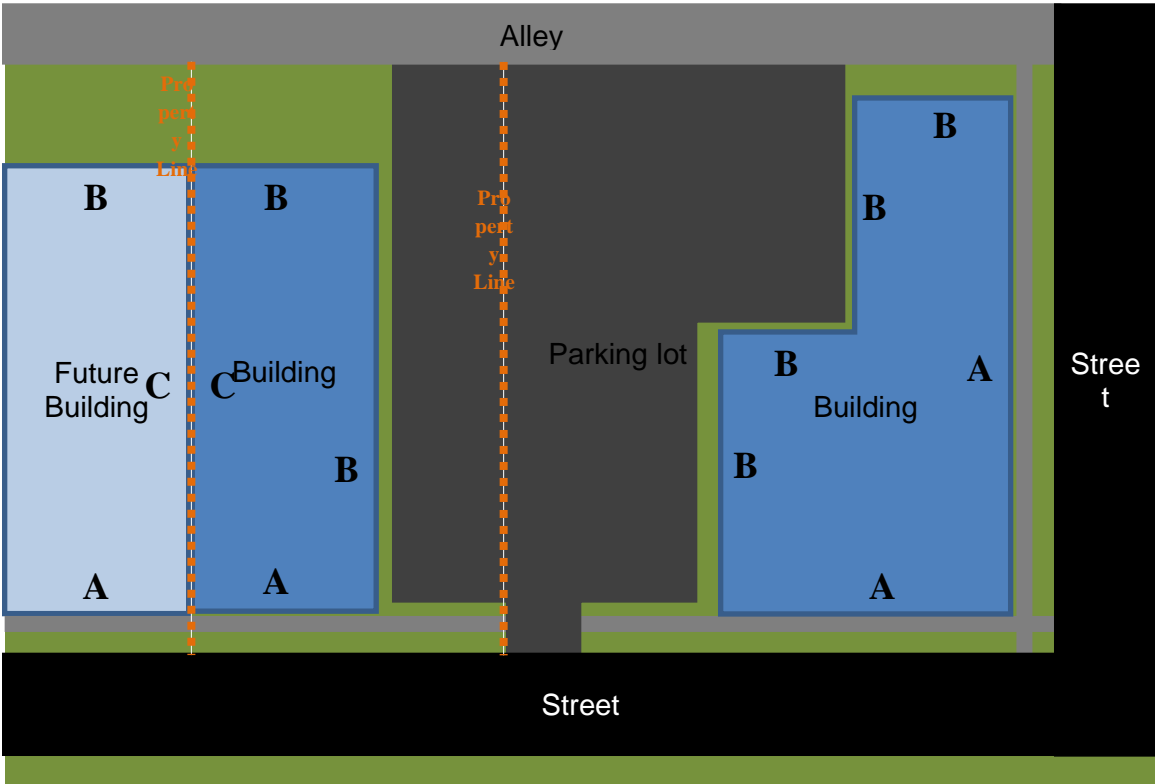


Figure 32.03-6: Building Elevation Reference

(b) Explanation of Building Design Table Symbols
 Table 32.03-4 below describes the symbols used in the Building Design Table.

TABLE 32.03-4: Description of Symbols for Table 32.03-5	
Symbol	Description
●	All new or reconstructed elevations must comply with this requirement.
◊	All new or reconstructed elevations are encouraged to comply with this requirement.
×	This requirement is not applicable to the elevation

(c) Building Design Table

The Building Design Standards for the CB-O are described in Table 32.03-5.

TABLE 32.03-5: Czech Bohemia Building Design Table			
Czech Bohemia Overlay District Standards	Street Frontages	Interior	Lot line
<p>a) Building design and architectural style create and enhance the character of the Czech Bohemia Overlay District for pedestrians and motorists. A range of architectural styles is preferred. However, all buildings should be designed with common elements:</p> <ul style="list-style-type: none"> ○ Open glass storefronts (where retail is provided) or public entrances (other non-residential development); ○ Clearly defined entrances to ground and upper floors (if applicable); ○ Sign bands and awnings incorporated into the design and scale of the buildings; ○ Upper floor windows 	<p>●</p> <p>●</p> <p>●</p> <p>●</p>	<p>◇</p> <p>●</p> <p>●</p> <p>●</p>	<p>×</p> <p>×</p> <p>◇</p> <p>×</p>
b) Variations in rooflines are encouraged to add interest to buildings and reduce the massive scale of large buildings. Buildings which are taller than adjacent structures by more than 1 story should consider the use of upper-floor setbacks, dormers or other architectural features to soften the transition between structures.	●	◇	◇
c) The top edge of the building shall be defined by a cornice line or similar articulation.	●	●	◇
d) Windows and doors shall be located, spaced and aligned on the building facade in a manner consistent with the established context of the block.	●	◇	×
e) The sizes of windows and doors shall be consistent with the proportions of historic buildings in the District.	●	◇	×
f) Highly reflective, opaque or darkly tinted glass shall not be used for windows or doors around public entrances.	●	●	×
g) Rear building entrances and facades shall be designed in a manner consistent with the front and a side facade, especially when parking is behind buildings.	×	●	◇
h) Entrances into commercial buildings should not be recessed more than five feet from the exterior building wall	●	●	×

i) Buildings shall primarily be constructed of high-quality materials such as brick, stone, split face block masonry, architectural paneling, and glass. Exterior finish insulation systems (EFIS), stucco and vinyl may be used on upper floors but use should be limited on the ground level. Concrete block, metal or plywood should not be used on building facades or on walls that are visible from streets, driveways, sidewalks or parking areas.	●	●	◇
j) At a minimum 60% of the building elevation dedicated to non-residential uses should be windows, doors, and fenestration.	●	◇	×

(3) Site Furnishings and Landscaping

- (a) Visual continuity within the district is important. Site furnishings and other amenities significantly contribute to the overall image of the District. Site furnishings should be made of quality materials and complement the character of the District. These elements include benches, waste receptacles, planters, railings, bollards, bike racks, and tree grates.
- (b) Site furnishings are encouraged to be provided in pedestrian spaces such as building entrances, along walkways and in pedestrian plazas and seating areas.
- (c) Fencing shall be constructed of compatible materials that complement adjacent structures. The use of chain link fencing is not permitted within the Overlay District.

(4) Signage

- (a) New signage shall respect the size, scale, and design of the building to which it is attached, and the buildings of the surrounding District. New signage shall not obscure significant architectural details of a historic structure.
- (b) All freestanding signs shall be low in height and placed within planting areas that are coordinated with the overall design of the site. Small directional signs under 6 square feet are not required to be in planting areas.
- (c) Public art, sculpture, murals, etc. are encouraged in the Czech Bohemia Overlay District.
- (d) Acceptable forms of signage include signs integrated into or affixed flat against a building facade, wall signs, projecting signs and monument signs. Other types of signage, including pole signs, may be considered if compatible with the unique character of the District.

(C) *CB-O Design Manual*

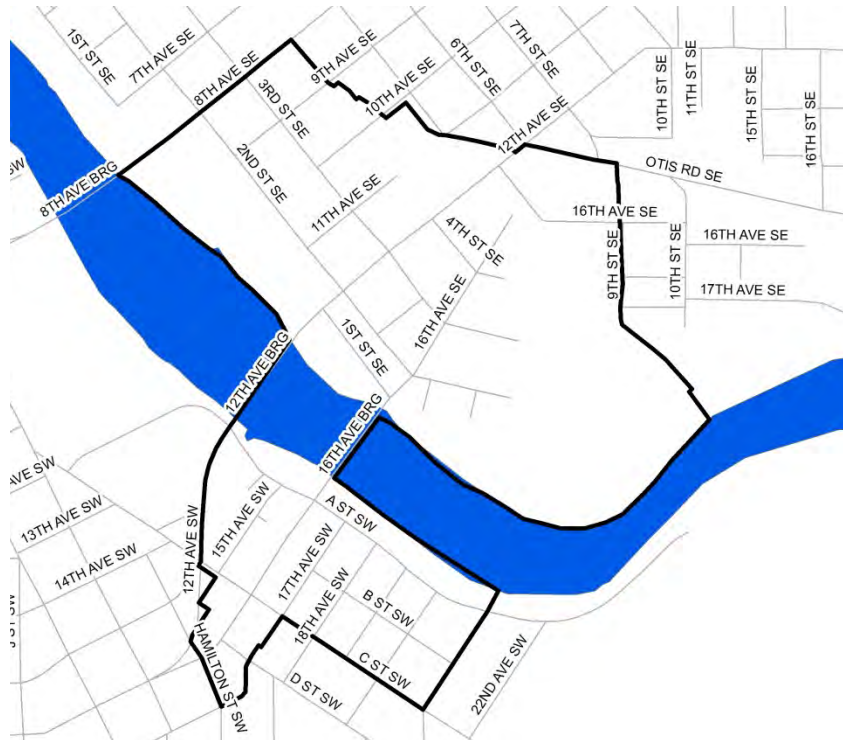
The City Council shall adopt, by resolution, a Czech Bohemia Design Manual which shall include all of the CB-O District Standards included in this ordinance. In addition the Design Manual may include:

- Additional figures or tables helping explain the District Standards
- Design Recommendations which should be considered as part of the development of site plans and the design of buildings within the district. These recommendations include best

practices along with suggested strategies to meet district standards and other aspects of the zoning ordinance. The Czech Bohemia Design Manual may be updated by Resolution of the City Council but shall not alter or supersede the District Standards of the CB-O as described in this Code.

Section 2. That Chapter 32, the Zoning Ordinance, is hereby amended by deleting Section 32.03.010.C.6.c.i.(A) – District Boundaries, and the following Section 32.03.010.C.6.c.i.(A) here is hereby adopted in lieu of:

(A) District Boundaries



The CB-O District shall be an overlay for the entire area designated in Figure 32.03-1

Section 3. Separability of Provisions. It is the intention of the Council that each section, paragraph, sentence, clause, and provision of the Ordinance is separable, and, if any provision is held unconstitutional or invalid for any reason, such decision shall not affect the remainder of this Ordinance nor any part thereof than that affected by such decision.

Section 4. That all ordinances or parts of ordinances in conflict herewith are repealed.

Section 5. That the afore described Amended Chapter 32 shall be included as part of the replacement pages of the Municipal Code, City of Cedar Rapids, Iowa, and made a part of said Code as provided by law.

Section 6. That this Ordinance shall be in full force and effect from and after its passage and publication as provided by law.

Introduced this 9th day of February, 2016.

PASSED_DAY_TAG

LEG_PASSED_FAILED_TAG

MayorSignature

Attest:

ClerkSignature

LEG_TABLED_TAG